

REPORT TO THE SUBDIVISION AND  
DEVELOPMENT APPEAL BOARD

DATE: <del>August 19, 2021</del> ; October 7, 2021	APPEAL NO.: SDAB2021-0051 FILE NO.: DP2021-3912
APPEAL BY: Lesleigh Russell, represented by Rick Grol	
FROM A DECISION OF THE DEVELOPMENT AUTHORITY for a  Revision: Liquor Store (change of use to DP2019-3729)  was refused at <u>950 McPherson Street SE.</u> <u>(Building: 61 9 Street SE)</u>	LAND USE DESIGNATION: DC 64D2019  Discretionary
COMMUNITY OF: Bridgeland/Riverside	DATE OF DECISION: July 22, 2021
APPLICANT: Lesleigh Russell, represented by Rick Grol	OWNER: Jemm Bridges General Partner Ltd.

The hearing commenced on August 19, 2021 with consideration of procedural and jurisdictional issues. The Board adjourned the hearing to October 7, 2021.

**Notes:**

- Notice has been given of the hearing pursuant to the *Municipal Government Act* and Land Use Bylaw, including notices to parties who may be affected by the appeal. The final determination of whether a party is an “affected person” will be made by the Board if required.
- This Report is provided as a courtesy only. The Board’s record may include additional materials, including notifications to affected parties and correspondence of a procedural or administrative nature.



**NOTICE OF APPEAL**  
**SUBDIVISION AND DEVELOPMENT APPEAL BOARD**

CC 821 (R2014-01)

In accordance with Sections 678 and 686 of the Municipal Government Act and The City of Calgary Bylaw 25P95, as amended, an appeal to the Subdivision and Development Appeal Board must be filed within the legislated time frame and each Notice of Appeal must be accompanied by the legislated fee. For filing instructions and fee payment options, see the reverse side of this form.

ISC: Unrestricted

Online Store Information			
Confirmation Number 10384414	Order Number 35597927	Online Form Processed 2021-07-23 2:49:42 PM	
Site Information			
Municipal Address of Site Under Appeal 950 MCPHERSON SQ SE		Development Permit/Subdivision Application/File Number DP2021-3912	
Appellant Information			
Name of Appellant LESLIEGH RUSSELL		Agent Name (if applicable) RICK GROL	
Street Address (for notification purposes) 210, 1212 1 STREET SE			
City CALGARY	Province ALBERTA	Postal Code T2G 2H8	Residential Phone # 403-312-8251
Business Phone # 403-312-8251	Email Address lesleigh.russell@jemm.ca		

APPEAL AGAINST

Development Permit	Subdivision Application	Notice of Order
<input type="checkbox"/> Approval	<input type="checkbox"/> Approval	<input type="checkbox"/> Notice of Order
<input type="checkbox"/> Conditions of Approval	<input type="checkbox"/> Conditions of Approval	
<input checked="" type="checkbox"/> Refusal	<input type="checkbox"/> Refusal	

REASONS FOR APPEAL Sections 678 and 686 of the Municipal Government Act require that the written Notice of Appeal must contain specific reasons for the appeal.

I do hereby appeal the decision of the Subdivision/Development Authority for the following reasons:  
See Schedule A to be emailed.

In order to assist the Board in scheduling, please answer the following questions to the best of your ability:

Estimated presentation time (minutes/hours) 1.5 HOURS	Will you be using an agent/legal counsel? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Unknown
Do you anticipate any preliminary issues with your appeal? (i.e. jurisdiction, parties status as affected persons, adjournment, etc.) <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Unknown	
If yes, what are the issues?	
Do you anticipate bringing any witnesses/experts to your hearing? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Unknown	If yes, how many will you be bringing? 2-3

This personal information is collected under the authority of the Freedom of Information and Protection of Privacy Act, Section 33(c) and the Municipal Government Act, Sections 678 and 686. NOTE: THIS INFORMATION WILL FORM PART OF A FILE AVAILABLE TO THE PUBLIC. If you have any questions regarding the collection of this information, contact the City Appeal Boards at 403-268-5312 or PO Box 2100 Stn. "M", #8110, Calgary, AB, T2P 2M5.

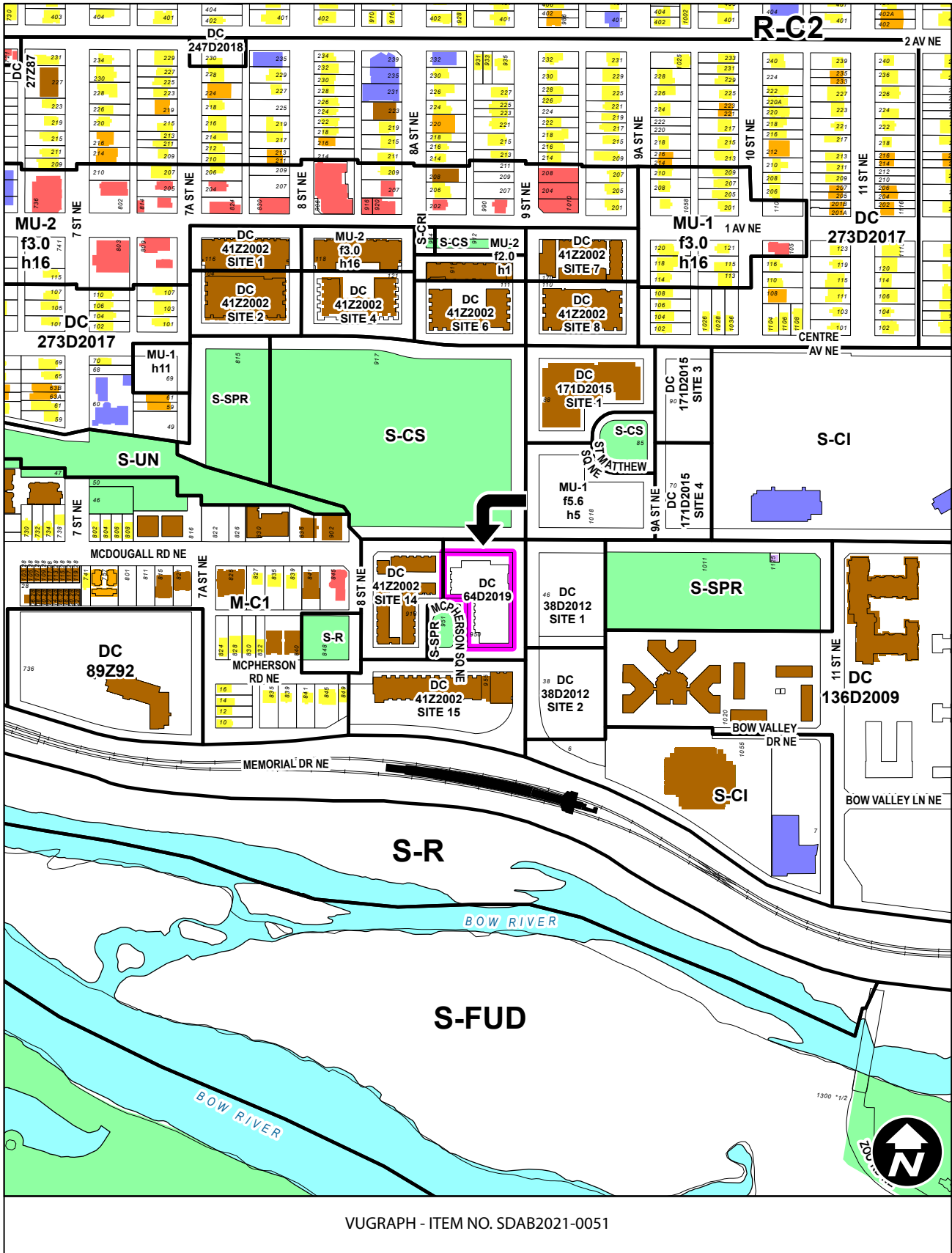
FOR OFFICE USE ONLY				
Final Date of Appeal YYYY MM DD <b>2021   08   12</b>	SDAB Appeal Number <b>SDAB2021-0051</b>	Fee Paid <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Hearing Date YYYY <b>2021   08   19</b>	Date Received <b>July 23, 2021</b>

**SDAB2021-0051**

## Schedule A

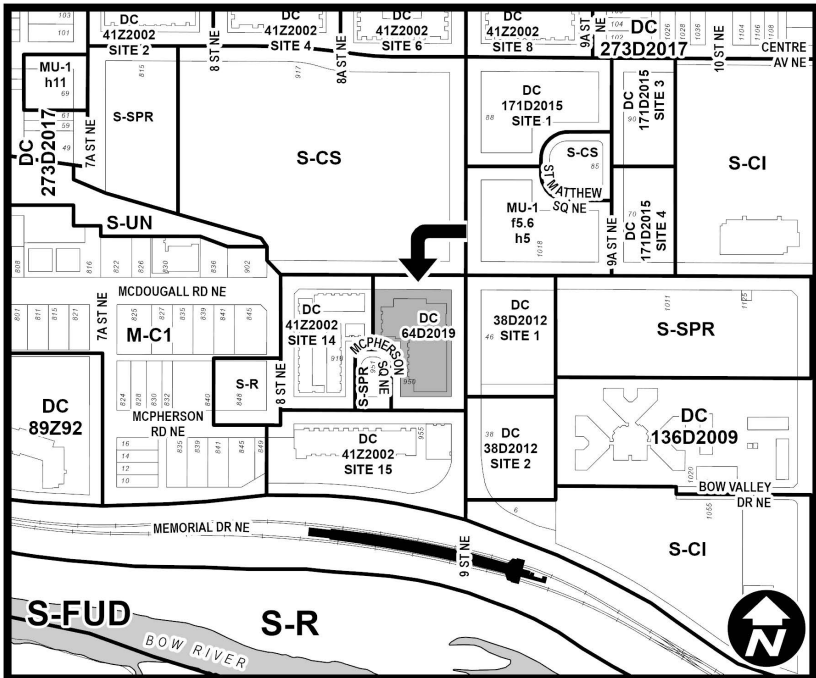
We are appealing the DA's refusal of the development permit application for the following reasons:

1. We acknowledge that the Development Authority (DA) under the Land Use Bylaw (LUB) had no choice but to refuse the application as pursuant to the Bylaw the DA has no authority to grant a relaxation of the separation distance between liquor stores for more than 10 percent. The application requires a relaxation of 53.5 metres from the required 300 metre separation distance between liquor stores.
2. We have an approved development permit DP2020-7571 for a liquor store in The Bridges building. The subject application proposes to relocate the already approved liquor store within the building. The proposed liquor store will be shifted to the north and will have a smaller footprint than the approved store. In addition, the store front of the new liquor store, which is facing 9 Street NE, is reduced.
3. An opportunity arose to create a Fitness Centre on the main floor of the building, which necessitated the relocating of the already approved liquor store. In order for the Fitness Centre to be successful and to serve the community, the fitness store needed to use an entire 6400 foot square bay. The Fitness Centre provides an amenity to the tenants and users of the building, and is open to the public as well. While the proposed liquor store, similar to the approved store under DP2020-7571, is located within 300 metres of an existing approved store, the location is appropriate from a planning perspective.
4. The proposed store complies otherwise with the Land Use Bylaw and meets the test for relaxation as set out in section 687(3)(d) of the *Municipal Government Act*. The proposed store has no negative impact on the adjacent properties and the neighbourhood. The proposed store is compatible with and will have minimal or no impact on adjacent developments and the community.
5. The proposed store complies with the MDP and ARP and policies affecting the parcel (Liquor Store Guidelines). In addition, the proposed store is suitable for the site based on sound planning principles. As a condition of DP approval, we would surrender permit DP2020-7571.
6. Such other grounds as may be submitted in our submissions prior to and at the hearing.



VUGRAPH - ITEM NO. SDAB2021-0051

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**SDAB2021-0051**



2021 July 22

RUSSELL, LESLEIGH  
lesleigh.russell@jemm.ca  
(403) 312-8251

**RE: Notification of Decision for DP2021-3912**  
**Subject: Revision: Liquor Store (change of use to DP2019-3729)**  
**Address: 950 MCPHERSON SQ NE**

This is your notification of the decision by the Development Authority to refuse the above noted application on July 22, 2021. Enclosed are the Reasons for Refusal, along with an appeal form, in the event that you choose to appeal this decision.

An appeal along with reasons must be submitted, together with payment of \$200.00 fee, to the Subdivision and Development Appeal Board (4th floor, 1212 31 Avenue N.E., Calgary, AB T2E 7S8) within 21 days of receipt of this letter. An appeal may also be filed online at <http://www.calgarysdab.ca>. To obtain an appeal form, for information on appeal submission options or the appeal process, please call (403) 268-5312.

Should you have any questions or concerns, please contact me at (403) 333-5407 or by email at [daniel.bronson@calgary.ca](mailto:daniel.bronson@calgary.ca).

Sincerely,

DANIEL BRONSON  
Senior Planning Technician  
Planning and Development



**DEVELOPMENT PERMIT  
LAND USE BYLAW NO 1P2007**

**DP2021-3912**

This permit relates to land in the City of Calgary municipally described as:

**950 MCPHERSON SQ NE**

**61 9 ST NE**

Community: **Bridgeland/Riverside**

L.U.D.: **DC 64D2019**

and legally described as:

**0512930;7;2**

and permits the land to be used for the following development:

**Revision: Liquor Store Change of use (DP2019-1729)**

The present owner and any subsequent owner of the above described land must comply with any attached conditions.

The development has been approved subject to any attached conditions and to full compliance with the approved plans bearing the stamp of approval and the above development permit number.

Decision By: **Development Authority**

Date of Decision: **July 22, 2021**

Development Authority **Maurie Loewen**

File Manager: **Daniel Bronson**

Release Date: \_\_\_\_\_

**This permit will not be valid if development has not commenced by:**

**This is NOT a Building Permit**

In addition to your Development Permit, a Building Permit may be required, prior to any work commencing. For further information, you should contact the City of Calgary, Planning, Development & Assessment - Building Regulations Division.

**WARNING**

**This permit does not relieve the owner or the owner's authorized agent from full compliance with the requirements of any federal, provincial or other municipal legislation, or the terms and conditions of any easement, covenant, building scheme or agreement affecting the building or land.**

Applicant: **RUSSELL, LESLEIGH**

Address: **61 9 ST NE**

City: **Calgary, Alberta, T2E 7W4**

Phone: **4033128251**

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**Complete Address and Legal Description listing for Development Permit DP2021-3912**

<b>Address Type</b>	<b>Address</b>	<b>Legal Description</b>
Building	950 MCPHERSON SQ NE	
Parcel	950 MCPHERSON SQ NE	<b>0512930;7;2</b>
Suite	61 9 ST NE	





## Reasons for Refusal for DP2021-3912

The Reasons for Refusal document is intended to provide a short summary of the development permit review and analysis. Attached to this document is supporting information about the application process; concerns raised by neighbours, other affected parties and the Community Association; the requested relaxations of the Land Use Bylaw; and other information in support of the decision.

### Proposed Use

This application proposes a change of use for a Liquor Store to be located in 61 9 Street N.E. in the community of Bridgeland/Riverside. The subject parcel is designated under the Direct Control 64D2019 district under the City of Calgary Land Use Bylaw 1P2007. The Liquor Store land use is a discretionary use in this district.

### Planning Review and Analysis

During the review, the Development Authority considered the Land Use Bylaw rules and the compatibility and impact of the proposed development on the site, and with respect to the neighbourhood. The application proposes to move an approved Liquor Store within a multi storey mixed use building. The plans submitted with the application indicate that the proposed use is on the main floor and faces 9 Street N.E.

The application seeks a relaxation for a Liquor Store to be located within 300.0 metres from another approved Liquor Store in the community, measured at 246.5 metres. There is another Liquor Store within the vicinity but not within the setback that measures 332.8 metres away. The intent of the minimum 300.0 metres setback requirement for a Liquor Store is to prevent proliferation of the use. Section 40 of the Land Use Bylaw explicitly instructs the Development Authority to refuse all development permit applications for prospective Liquor Stores when it is found that the separation distance to other approved Liquor Stores requires a variance of greater than 10 percent.

In evaluating the application, the Development Authority determined that the location of the proposed liquor store is inappropriate. According to Section 40 of the Land Use Bylaw 1P2007, the Development Authority must refuse the proposed development permit application due to the separation distance clearance to the nearest approved Liquor Store. Accordingly, the application is refused.

### Decision

For the above noted reasons, the application is refused.

\_\_\_\_\_  
 Maurie Loewerl, Development Authority

**Jul 22, 2021**

\_\_\_\_\_  
 Date



## Attachments for DP2021-3912

### Site and Context

The proposed use is located within a new mixed-use building on a 0.38 hectare parcel. This parcel is located at the southwest corner of 9 Street N.E. and McDougall Road N.E. in the community of Bridgeland. The parcel is adjacent to multi-residential towers to the east, south, and west, and to Murdock Park to the north.

The development is a sixteen-storey tower that contains 285 dwelling units with commercial uses at grade. Indoor parking is located on the lower level and accessed on the north side of the building along McDougall Road. At-grade exterior parking is located on the surrounding roadways. Based on the submitted plans the loading area for the Liquor Store is located on the east side of the parcel adjacent to 9 Street N.E.

### Process

#### Circulation:

Circulated to Ward 8 Councillor – No objection.  
 Circulated to Licence Enforcement Group (LEMAG) – No objection.  
 Circulated to Bridgeland BRZ – No comment.  
 Circulated to Bridgeland Community Association - No comment.

**Notice Posting:** Notice Posting was completed as required under section 27 of the Land Use Bylaw 1P2007.

**Comments from Notice Posting:** None.

**Bylaw Check:** 246.5 metres (-53.5 metres) from an approved Liquor Store at 921 General Avenue N.E, a 17.8% relaxation.

**Support:** None received.

### Applicable Planning Policy Guidelines

Liquor Store Separation Distance Guidelines (adopted by Council May 13, 2015)

#### Objectives

To ensure opportunities for liquor stores are balanced with the cumulative impacts of traffic, parking, noise and aesthetics they may have on communities.

The separation distance helps manage over concentration of liquor stores along corridors and in communities.

#### Guidelines

A request to reduce either the 300 metre minimum separation distance between a proposed liquor store and an existing liquor store, or the 150 metre minimum separation distance between a proposed liquor store and a school, up to 10 per cent of the minimum distance, may be approved by the development authority when:

1. The proposed liquor store is less than 300 metres from an existing liquor store, but located in and serving a different community or neighbourhood;
2. Only one liquor store or school is within the minimum separation distance;
3. A major road or expressway separates the proposed liquor store from the other liquor store or school within the separation distance;



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 Planning and Development  
 Technical Planning and Bylaw Review

4. The proposed liquor store, or the existing liquor store that is within the minimum separation distance, is located in an enclosed shopping centre; or
5. The existing liquor store located within the minimum separation distance is in a land use district where the separation distances do not apply (e.g. a direct control district, regional commercial district or a downtown district).

General Planning Criteria for Liquor Stores (adopted by Council November 6, 2000)

In its capacity as Approving Authority, the Calgary Planning Commission directs the Corporate Planning Applications Group to take into account the following issues in addition to all other relevant planning matters, in assessing and making recommendations on Development Permit applications for liquor stores.

1. Location in Relation to Existing Liquor Stores

Where a proposed liquor store is within 300 metres radial distance of an existing liquor store, any cumulative impacts of the facilities on existing development within the area must be considered in evaluating the application.

## Key Land Use Bylaw Rules

Section 36 of the City of Calgary Land Use Bylaw 1P2007 states, in part:

### Discretionary Use That Does Not Comply

**36** The *Development Authority* may approve a *development permit* application for a *discretionary use* where the proposed *development* does not comply with all of the applicable requirements and rules of this Bylaw if in the opinion of the *Development Authority*:

- (a) the proposed *development* would not unduly interfere with the amenities of the neighbourhood or materially interfere with or affect the use, enjoyment or value of neighbouring properties;

Section 40 of the City of Calgary Land Use Bylaw 1P2007 states, in part:

### Applications the Development Authority Must Refuse

**40** The *Development Authority* must refuse a *development permit* application when the proposed *development*:

- (h) is for a **Liquor Store** in any district, other than the C-R2, C-R3 and CR20-C20/R20 Districts, that requires more than a 10 per cent relaxation of a minimum separation distance specified in subsections 225(d) or 225(e), except where the *development permit* is for:
  - (ii) an existing approved **Liquor Store** that proposes to move to a new location not within a minimum separation distance specified in subsections 225(d) or 225(e), excluding the distance from the original location of the existing approved **Liquor Store**.

Section 225 of the City of Calgary Land Use Bylaw 1P2007 states, in part:

### 225 “Liquor Store”

- (d) in all Districts, not including the C-R2, C-R3 and CR20-C20/ R20 Districts, must not be located within 300.0 metres of any other **Liquor Store**, when measured from the closest point of a **Liquor Store** to the closest point of another **Liquor Store**;
- (e) in all *commercial* and *industrial districts*, not including the C-R2, C-R3 and CR20-C20/R20 Districts, must not be located within 150.0 metres of a *parcel* that contains a **School – Private** or a **School Authority – School**, when measured from the closest point of a **Liquor Store** to the closest point of a *parcel* that contains a **School Authority – School** or a **School – Private**;

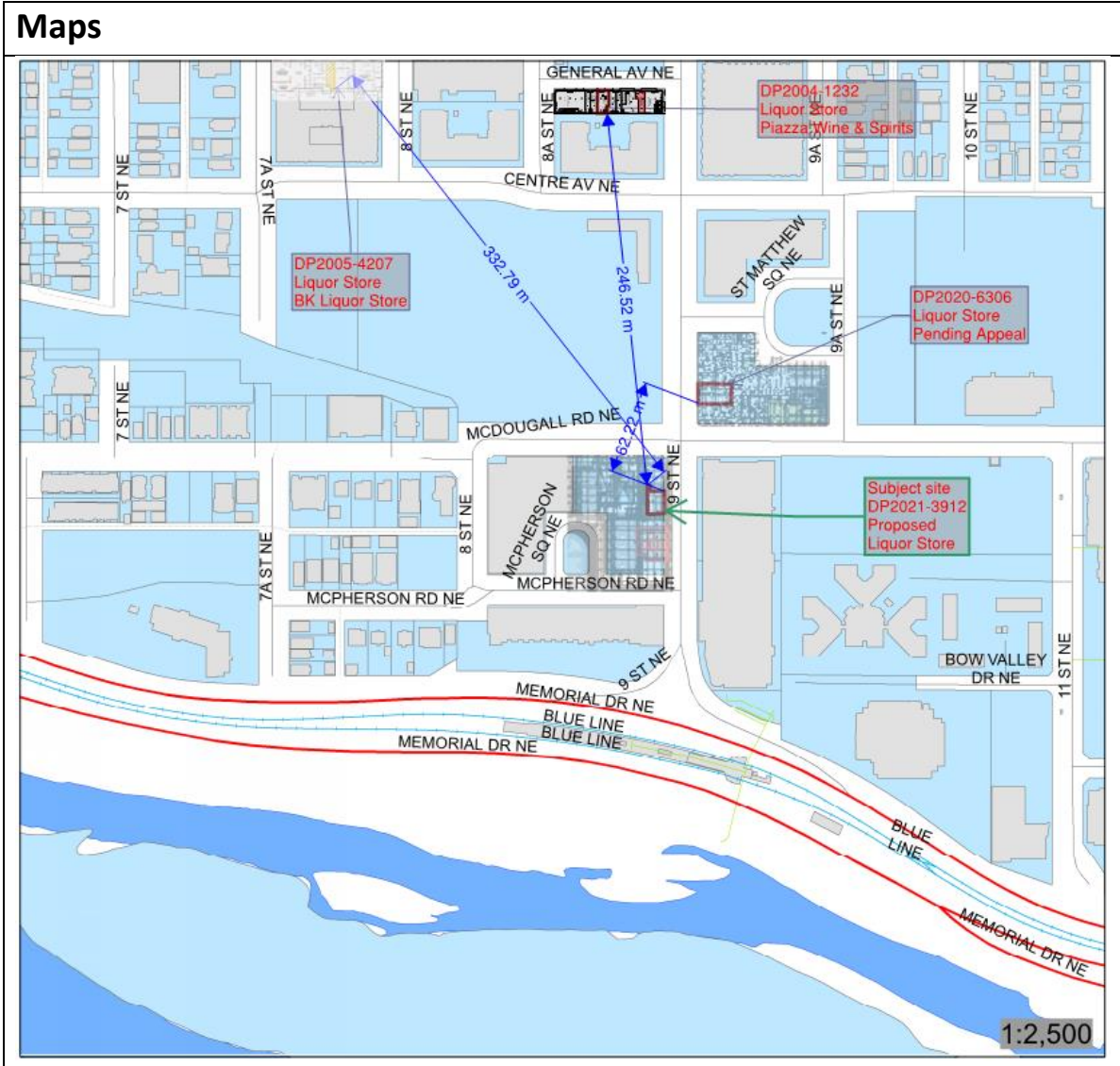
## Bylaw Variances

Regulation	Standard	Provided
40 Applications the Development Authority Must Refuse	(h) is for a <b>Liquor Store</b> in any district, other than the C-R2, C-R3 and CR20-C20/R20 Districts, that requires more than a 10 per cent relaxation of a minimum separation distance specified in subsections 225(d) or 225(e)...	There is one approved Liquor Store use located within 300 metres from the subject unit: <ul style="list-style-type: none"> <li>• 246.5 metres (-53.5 metres) from the approved Liquor Store at 921 General Avenue N.E, a 17.8% relaxation.</li> </ul>



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 Technical Planning and Bylaw Review

225 Liquor Store	(e) in all Districts, not including the C-R2, C-R3 and CR20-C20/CR20 Districts, must not be located within 300.0 metres of any other Liquor Store, when measured from the closest point of a Liquor Store to the closest point of another Liquor Store;	
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## Conditions of Approval – Development Permit

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**Application Number:** DP2021-3912  
**Application Description:** Revision: Liquor Store (change of use to DP2019-3729)  
**Land Use District:** Direct Control (1P2007)  
**Use Type:** Discretionary  
**Site Address:** 950 MCPHERSON SQ NE  
**Community:** BRIDGELAND/RIVERSIDE  
**Applicant:** RUSSELL, LESLEIGH  
**Senior Planning Technician:** DANIEL BRONSON - (403) 333-5407 - [daniel.bronson@calgary.ca](mailto:daniel.bronson@calgary.ca)

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## Prior to Release Requirements

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The following requirements shall be met prior to the release of the permit. All requirements shall be resolved to the satisfaction of the Approving Authority:

1. In order to accommodate the move of an approved Cannabis Store and/or Liquor Store to a new location, provide a letter from the property owner requesting cancellation of DP2020-7571.

## Permanent Conditions

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The following permanent conditions shall apply:

2. The development shall be completed in its entirety, in accordance with the approved plans and conditions. The stamped and signed plans are a legal document.
3. No changes to the approved plans shall take place unless authorized by the Development Authority. If changes to the development occur or are proposed, a new development permit or revised plan application may be required.

## Advisory Comments

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The following advisory comments are provided as a courtesy to the Applicant and registered property owner. The comments represent some, but not all of the requirements contained in the Land Use Bylaw that must be complied with as part of this approval.

4. The approval of this development permit does not limit in any way the application of any federal, provincial, or municipal law, policy, code, regulation, bylaw, and/or guideline, nor does it constitute any permit or permission under any federal, provincial, or municipal law, policy, code, regulation, bylaw, and/or guideline.
5. The Applicant may appeal the decision of the Development Authority, including any of the conditions of the development permit. If you decide to file an appeal, please refer to the notification of decision letter for the appropriate appeal body and appeal process.
6. In addition to this development permit, building permits may also be required. Building permit applications may be submitted upon approval of the associated development permit. Contact Building Regulations at 403-268-5311 for further information.



## Development Permit Application

Online Submission

Application Information	
<b>Applicant Details</b> <input type="checkbox"/> Business Owner <input checked="" type="checkbox"/> Property Owner <input type="checkbox"/> Agent Representing Business or Property Owner	
<b>Applicant Name</b> lesleigh russell	<b>Applicant Contact Information</b> Phone: (403) 312-8251  Email: lesleigh.russell@jemm.ca  <b>Mailing Address:</b> 61 9 ST NE, Calgary Alberta Canada T2E 7W4
<b>Representing Company (if applicable)</b> JEMM Properties Ltd	
<b>Business Trade Name</b>	
<b>Business ID</b> unknown	
<b>Owner / Leaseholder Name</b> lesleigh russell	<b>Owner / Leaseholder Contact Information</b> Phone: 4033128251 Email: lesleigh.russell@jemm.ca

Business Location Details	
<input checked="" type="checkbox"/> Commercial Based <input type="checkbox"/> Home Based <input type="checkbox"/> Based Out of Town <input type="checkbox"/> Mobile <input type="checkbox"/> Personal Services	
<b>Application Address</b> 61 9 ST NE	
<b>LUD</b> DC, Direct Control (1P2007)	<b>Existing Use(s)</b> Not Available
<input checked="" type="checkbox"/> First tenant in the space (Building is brand new and I am the first tenant) <input type="checkbox"/> New tenant (There was a different business using this space, but the proposed business will be taking over) <input type="checkbox"/> Existing tenant (I have pre-existing approval for this space but I am making changes to operations)	
Is a school, child care facility, overnight medical facility, residence, or food, drink, and/or cannabis business proposed as either a primary or ancillary use? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Is a waste management, recycling, or wastewater treatment facility being proposed? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	

# 16

What was the last business to occupy the space (if known ) NA	Total floor area 1553 ft <sup>2</sup>	Floor of business main/ground floor
Is any part of the business use taking place outside? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	If yes, what business activity will be taking place outside? N/A	
Will you be adding or increasing the size of a sign? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		

## Business Activity Questionnaire

Activity type selected

Liquor Store

Q1: In addition to alcohol, will you be selling any non-food products of any kind?

A1: No

Q2: Will you be selling any food products? (\*NOTE\* This does not include food items sold from vending machines.)

A2: No

Planning Terms Liquor Store	Licence Types LIQUOR STORE
Have you previously applied for planning approval for how your business intends to use the space? (i.e. Development Permit or Tenancy Change) No	
Do you know, or have you been advised, to apply for a Development Permit to change the use of the space you are occupying? Yes	

## Approvals Generated

Q1: Would you like to apply Business Licence now?

A1: No – I will apply at a later date or someone else will apply on my behalf

Q2: Would you like to apply Development Permit now?

A2: Yes - apply now

Q3: Would you like to apply Building Permit now?

A3: No – I will apply at a later date or someone else will apply on my behalf



**Submitted Documents**

Document Type: ARCHITECTURAL  
Document SubType: PLANS  
Document Name: DP2019-3729\_JEMM-THE BRIDGE\_CHANGE OF USE\_MAIN FLOOR PLAN\_2021-05-12.pdf

Document Type: ARCHITECTURAL  
Document SubType: INFORMATION FORM  
Document Name: DP2019-3729\_JEMM-THE BRIDGE\_CHANGE OF USE\_PARKADE PLAN\_2021-05-12.pdf

Document Type: SUPPORTING DOCUMENT  
Document SubType: OTHER  
Document Name: DP2019-3729\_JEMM-THE BRIDGE\_CHANGE OF USE\_SITE PLAN\_2021-05-12.pdf

Document Type: SUPPORTING DOCUMENT  
Document SubType: PHOTOS  
Document Name: DP2020-7571 Final Approved Plans.pdf

The personal information obtained on this form is being collected under the authority of section 33(c) of the FOIP Act. This information is being collected for the purpose of our inspection processes (if required) and will be disclosed to relevant City Business Units, Federal and Provincial agencies, Utility companies, Community Associations/Groups/Organizations, Adjacent Municipalities, Municipal school boards and/or any agencies required for review as part of the application review process. It may also be used to conduct ongoing evaluations of services received from Planning & Development. The name of the applicant and the nature of the application will be available to the public, as authorized by the FOIP Act. You may direct questions about the collection, use or disclosure of your personal information by the City of Calgary at 800 Macleod Trail SE Calgary, Alberta in relation to this program by emailing the FOIP Program Administrator for Planning and Development at [plngbldg@calgary.ca](mailto:plngbldg@calgary.ca) or by telephone at (403)268-5311.

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### 1. Interpretation

These **Online Application Consent and Confirmation of Applicant** supplement, and shall be interpreted consistently with, the general Terms of Use for the City of Calgary's website, found at the bottom of each web page.

### 2. Accuracy of Information Submitted

You acknowledge and agree that your electronic submission of information to The City of Calgary ("The City") using this Online Application is true and accurate and is intended to be your permit application to The City.

### 3. Consent to Electronic Decision

I agree that The City can issue its formal decision to in electronic form (e.g. electronic mail) to the email address provided through the Online Application. If my email address changes I will advise The City of the new email address or provide a mailing address for the formal approval.

### 4. Electronic Submission

Except as may otherwise be required by The City, you must only submit, provide and accept information or records related to your application in electronic form and you will not re-submit your application in paper form. The City does not guarantee that the entire electronic permit application process will be completed electronically, and The City reserves the right in its sole discretion to require you to submit information and records relating to your application in paper form.

### 5. Complete Application

I acknowledge that The City may inactivate or cancel incomplete permit applications that do not contain all of the requested information at The City's sole discretion.

### 6. Changes to Site and Terms of Use

The City reserves the right to make changes to this Online Services Site, the Terms of Use and provide additional terms at any time without notice. The changes or additional terms are effective immediately upon

being posted to this Online Services Site. Your use of the Online Services Site will be subject to the Terms of Use posted on the Online Services Site at the time of use. In the event any of the provisions of the Terms of Use are determined to be invalid, void, or unenforceable for any reason, that provision will be deemed to be severable and will not affect the validity or enforceability of any remaining condition of the Terms of Use. You may be asked to agree to separate terms of use for other pages or applications used elsewhere on The City's website.

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#### 8. Privacy Statement and Collection of Personal Information

Any information, including personal information, contained in a permit application submitted by using this site is being collected under the authority of The Calgary Building Permit Bylaw 64M94 (for Building Permits) or the Municipal Government Act, Section 640, and The City of Calgary Land Use Bylaw 1P2007 (Part 2) (for Development Permits) as well as the *Alberta Freedom of Information and Protection of Privacy Act* ("FOIP"), Section 33(a) and (c). This information will be used for The City's permit review and inspection processes and may be communicated to relevant City Business Units, utility providers, and Alberta Health Services for purposes related to these processes. Information may also be used by The City to conduct ongoing evaluations of services received from The City's Planning and Development Department. The name of the applicant and the nature of the permit will be made available to the public as authorized by FOIP. Please send inquiries by mail to the FOIP Program Administrator, Planning and Development, PO Box 2100, Station M, Calgary, AB T2P 2M5 or contact us by phone at 311.

#### 9. Alberta Law

You agree to be bound by Alberta law when using this Online Services Site and agree that any court proceedings or other legal action will take place in Alberta.

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14. Copyright

I acknowledge and understand that, as part of The City's process in reviewing, evaluating, and processing the permit application, The City will need to make available, in print and digital form, copies of the application materials to relevant City business units, members of City council, utility providers, other municipalities, municipal school Boards, relevant community associations/groups/organizations (including their boards of directors and planning committees), members of the general public, and any other external agencies or third parties whose input is required by The City in connection with the processing of your application. I hereby (i) consent to The City's copying, reproduction, distribution, and communication of the permit application materials, in any material form and via any medium, as required for the purpose of enabling The City to process your application; and (ii) certify that I am authorized and have the right to grant such consent.

15. Condominium Property

I have all authorizations required under the Condominium Property Act, RSA 2000, c C-22, as amended or replaced, the bylaws of the Condominium Corporation, and otherwise in law to apply for this application if it is respecting condominium property. I further agree to immediately notify The City, in writing, of any changes regarding this information.

Development Permit Application Requirements

I am authorized to apply for this permit in accordance with section 26 (1) of the Land Use Bylaw 1P2007 as amended.

District Title: Mixed Use - Flexible (MU-1f#h#d#)

The information contained herein is intended for information purposes only. Please refer to the Calgary Land Use Bylaw 1P2007 for a complete list of rules and regulations. This form has no legal status and cannot be used as an official interpretation of the Land Use Bylaw 1P2007.

<b>Date:</b>	June 29, 2021
<b>Date Received:</b>	May 31, 2021
<b>F/M:</b>	<b>DANIEL BRONSON</b>
<b>BLC BY:</b>	<b>JOSHUA PAUL</b>
<b>Review Required:</b>	<input type="text" value="COMPLETE"/>
<b>Markups Completed Electronically:</b>	<input type="text" value="Yes - Refer to Livelink"/>

<b>D.P. #</b>	<b>2020-7571</b>
---------------	------------------

For Internal Distribution Only

<b>Modifier(s):</b>	<b>F.A.R</b>	<b>Height</b>	<b>Density</b>	<b>ALL MODIFIER(S) ARE COMPULSORY (Cannot be relaxed)</b>
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<b>Project Description(s):</b>	Revision: Liquor Store (change of use to DP2019-3729)
--------------------------------	---

**Floodway/Floodfringe/Overland Flow**

*\*If applicable Complete Flood Sheet\**

**Airport Vicinity Protection Area (AVPA)**

<b>Right-of-Way Setback(S)</b>					
Rd / St / Av		Required		Provided	
Rd / St / Av		Required		Provided	
Rd / St / Av		Required		Provided	

<b>Main Floor Elevation(S):</b>		<b>Roof Peak Elevation(s):</b>	
<b>Unit 1</b>		<b>Unit 1</b>	
<b>Unit 2</b>		<b>Unit 2</b>	

**Notes:**

**Liquor Store moving locations within same building**

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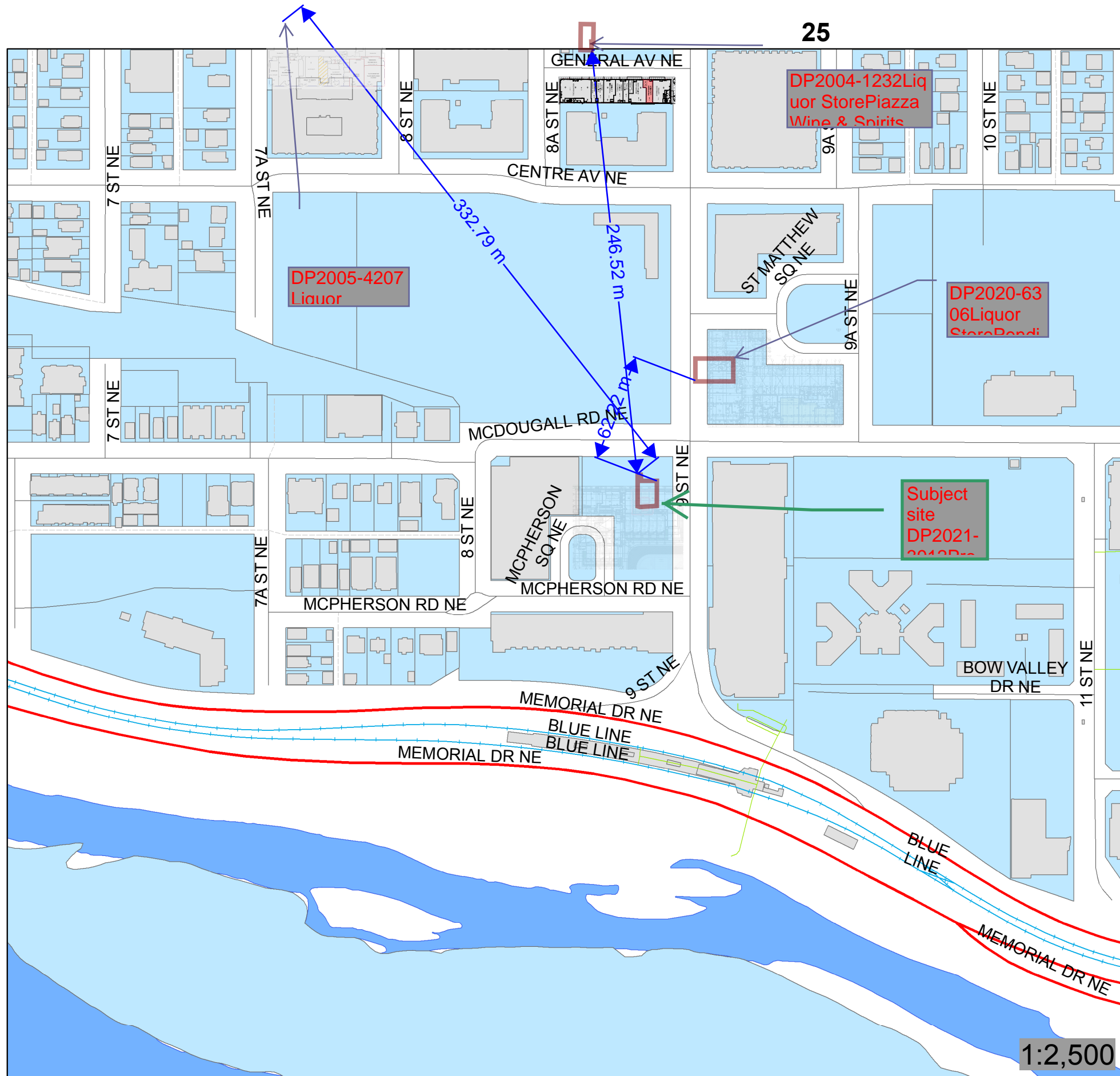


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Page 3		<b>Mixed Use - Flexible (MU-1)</b>		D.P. # 2020-7571	
Rule	Requirements		Evaluation		
		Notes	Provided/Variance		
Part 4	If applicable please refer to <b>Part 4</b> Form		See Attached	N/A	N/I
1372 Use Area	The maximum use area of a Catering Service - Minor, or a Catering Service - Minor combined with any other use, is 300.0m <sup>2</sup> .		N/A		

Part 4 A to Z Use and Use Rules							D.P. #			
<div style="display: flex; justify-content: space-around; text-align: center;"> <span style="border: 1px solid black; padding: 2px 5px;">A</span> <span style="border: 1px solid black; padding: 2px 5px;">B</span> <span style="border: 1px solid black; padding: 2px 5px;">C</span> <span style="border: 1px solid black; padding: 2px 5px;">D</span> <span style="border: 1px solid black; padding: 2px 5px;">E</span> <span style="border: 1px solid black; padding: 2px 5px;">F</span> <span style="border: 1px solid black; padding: 2px 5px;">G</span> <span style="border: 1px solid black; padding: 2px 5px;">H</span> <span style="border: 1px solid black; padding: 2px 5px;">I</span> <span style="border: 1px solid black; padding: 2px 5px;">K</span> <span style="border: 1px solid black; padding: 2px 5px;">L</span> <span style="border: 1px solid black; padding: 2px 5px;">M</span> <span style="border: 1px solid black; padding: 2px 5px;">N</span> <span style="border: 1px solid black; padding: 2px 5px;">O</span> <span style="border: 1px solid black; padding: 2px 5px;">P</span> <span style="border: 1px solid black; padding: 2px 5px;">R</span> <span style="border: 1px solid black; padding: 2px 5px;">S</span> <span style="border: 1px solid black; padding: 2px 5px;">T</span> <span style="border: 1px solid black; padding: 2px 5px;">U</span> <span style="border: 1px solid black; padding: 2px 5px;">V</span> </div>										
Section / Use	Type	Requirements					Evaluation			
<b>225 Liquor Store</b>	Compulsory	(a) means a use:	(a) means a use where alcoholic beverages are sold for consumption off the retail outlet premises, that has been licensed by the Alberta Gaming and Liquor Commission;			C	N/C	N/A	N/I	
	Rule		(c) in the C-N1 and C-N2 Districts must only be located on a parcel with a front property line on a major street or a primary collector street;			C	N/C	N/A	N/I	
			(d) in all Districts, not including the C-R2, C-R3 and CR20-C20/R20 Districts, must not be located within 300.0m of any other Liquor Store, when measured from the closest point of a Liquor Store to the closest point of another Liquor Store;			63.06	-236.94			
			Address of Liquor Store within 300.0m, if applicable.	1030 McDougall Rd NE (DP2020-6306)						
			(d) in all Districts, not including the C-R2, C-R3 and CR20-C20/R20 Districts, must not be located within 300.0m of any other Liquor Store, when measured from the closest point of a Liquor Store to the closest point of another Liquor Store;			246.52	-53.48			
			Address of Liquor Store within 300.0m, if applicable.	911 General Av NE (DP2004-1232)						
			(e) in all commercial, industrial and mixed use districts, not including the C-R2, C-R3 and CR20-C20/R20 Districts, must not be located within 150.0m of a parcel that contains a School – Private or a School Authority – School, when measured from the closest point of a Liquor Store to the closest point of a parcel that contains a School Authority – School or a School – Private;							
			Address of School Authority - School or School - Private within 150.0m, if applicable.	N/A						
			(e.1) In all Centre City East Village Districts, Liquor Stores must not be located: (i) within 150.0m of a parcel that contains an Emergency Shelter, when measured from the closest point of a Liquor Store to the closest point of a parcel that contains an Emergency Shelter							
			Address of Emergency Shelter within 150.0m, if applicable.	N/A						
			(e.1) In all Centre City East Village Districts, Liquor Stores must not be located: (ii) on parcels North of 5 Avenue SE and West of 4 Street SE			C	N/C	N/A	N/I	
			(e.2) in all Districts, not including the C-R2, C-R3 and CR20-C20/R20 Districts, must not:	(i) abut a Cannabis Store;			C	N/C	N/A	N/I
				(ii) if not for one or more intervening actual side setback areas, abut a Cannabis Store; and			C	N/C	N/A	N/I
				(iii) when located on the same parcel, if not for a vacant space between buildings, not including an internal road, abut a Cannabis Store			C	N/C	N/A	N/I





# DP2021-391

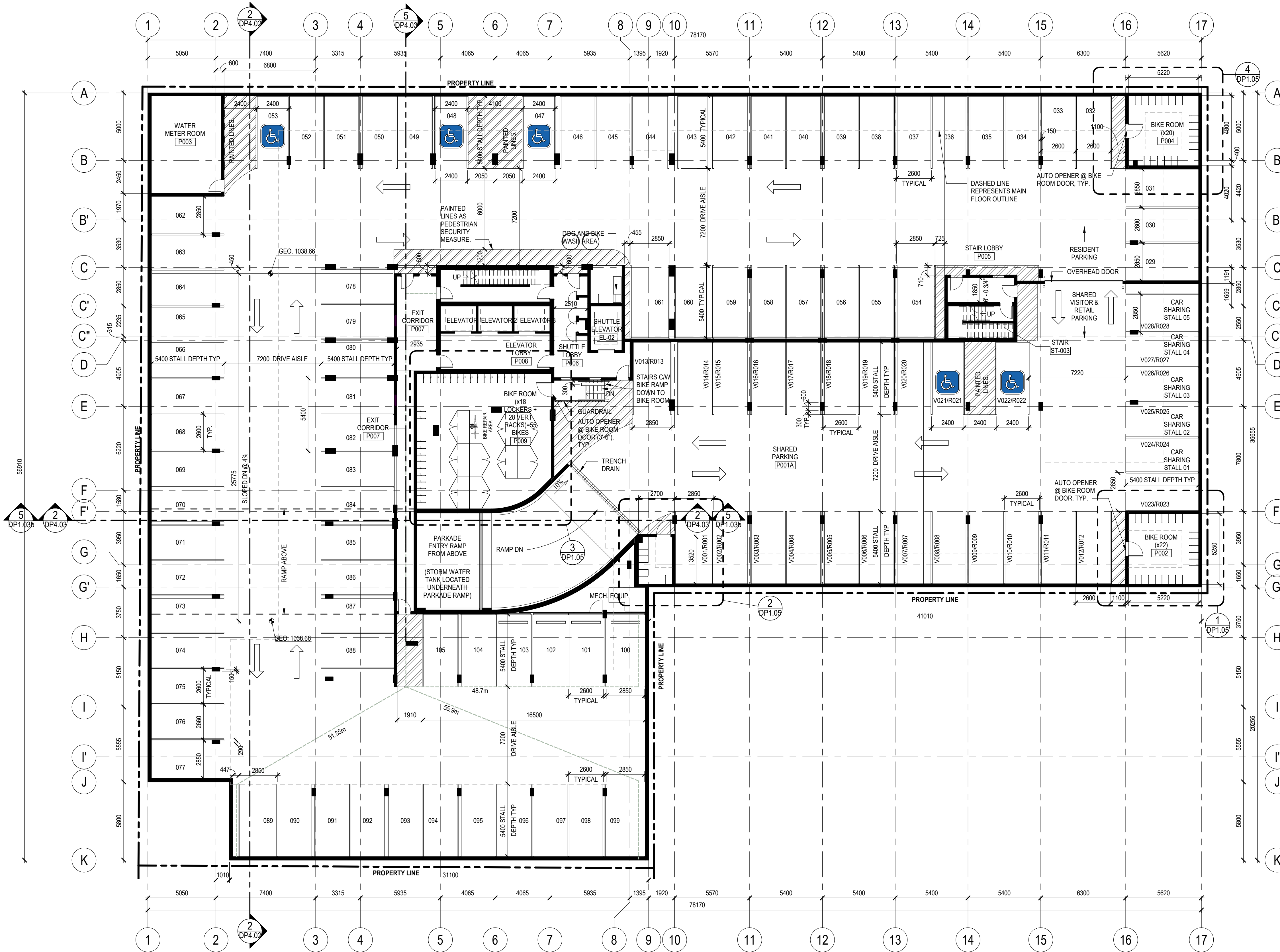
## Liquor Store Separation

**300m** DP2020-6306 Liquor Store Pending Appeal 62.22 m from proposed location  
**246.52 m** DP2004-1232 Liquor Store Piazza Wine & Spirits 246.52 m from proposed location  
**332.79m** DP2005-4207 Liquor Store BK Liquor Store 332.79m from proposed location  
**School Separation 150m** No Schools located within 150m  
**Emergency Shelter Separation 150m** (only applicable in Centre City East Village Districts) No Emergency Shelters within 150m  
**Cannabis Store Separation** No Cannabis Stores abutting

### Legend

Date: 2020-12-08

**AMENDED DRAWINGS**  
 DP No Date Received  
 DP2020-7571 DEC 10 2020  
 THESE DRAWINGS REFER TO THE ABOVE DEVELOPMENT PERMIT NO.



**1 PARKADE (DP)**  
 DP2.01 SCALE: 1:150

- PARKADE NOTES**
- ALL WALLS, COLUMNS, AND CEILINGS IN PARKADE ARE TO BE PAINTED WHITE
  - ALL BARRIER-FREE AND VISITOR PARKING SIGNAGE IS TO BE PAINTED IN ACCORDANCE WITH CITY OF CALGARY SYMBOL STANDARDS AND REGULATIONS
  - ALL PARKING STALLS ARE TO BE A MINIMUM OF 2600mm x 5400mm FOR VISITOR PARKING AND 2800mm x 5400mm FOR RESIDENCE PARKING WITH A MINIMUM OVERHEAD CLEARANCE OF 2100mm
  - ALL STAIRWELL VESTIBULE DOORS AND ELEVATOR LOBBIES SHALL HAVE TRANSPARENT PANELS TO ENSURE VISIBILITY INTO THESE AREAS. LIGHTING IN THESE AREAS IS TO BE VANDAL PROOF
  - ALL ENCRANCHING COLUMNS ARE TO ENCRANCH A MAXIMUM OF 300mm INTO PARKING STALLS
  - ALL SANITARY & STORM DRAINAGE PIPING TO BE RUN ON THE SIDE OF PARKADE WALLS WHERE REQUIRED BELOW 2100mm TO MAINTAIN PIPING INVERTS AND SLOPE
  - ALL MECHANICAL PIPING, DUCTWORK AND EQUIPMENT RUN OVER PARKING STALLS AND DRIVE AISLES TO BE INSTALLED IN A MANNER TO ALLOW FOR A MINIMUM OF 2100mm CLEARANCE BELOW
- PARKING COUNT**
- 28 SHARED VISITOR AND RETAIL PARKING \* V###R###\*
  - 77 RESIDENTIAL STALLS
  - 105 TOTAL PARKING STALLS

**PARKADE PLAN FOR REFERENCE ONLY TO SHOW EXTENT OF VISITOR PARKING. NO CHANGES TO PREVIOUSLY APPROVED/RELEASED MASTER DEVELOPMENT PERMIT DP2019-3729**

**zeidler**  
 300, 640 - 8 Avenue S.W.  
 Calgary, AB T2P 1G7  
 T +1 403 233 2525

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Issue No.	Date	Description
1	2019-06-14	ISSUED FOR ARC REVIEW
2	2019-07-16	ISSUED FOR ARC APPROVAL
3	2019-07-22	ISSUED FOR DEVELOPMENT PERMIT
4	2019-10-09	ISSUED FOR DTR1 RESPONSE
5	2019-12-13	ISSUE FOR DTR2 RESPONSE
6	2020-01-21	ISSUED FOR DTR3 RESPONSE
7	2020-11-20	ISSUED FOR CHANGE OF USE

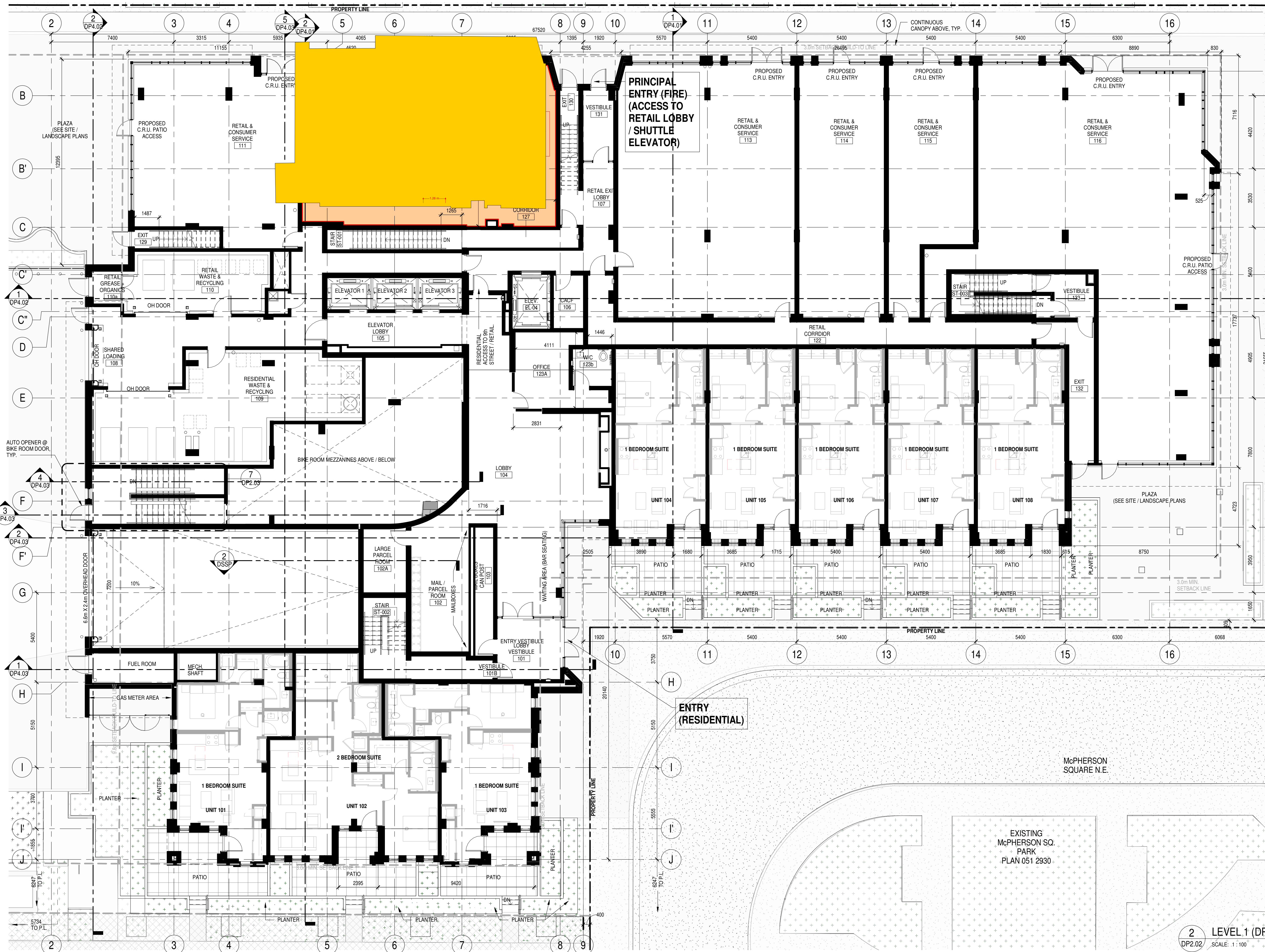
client  
**JEMM Properties**  
 #26, 7003 - 30th St. S.E. CALGARY, AB T2C1N6

project title  
**THE BRIDGE**  
 AT BRIDGLAND  
**THE BRIDGES**  
 Building an urban legacy  
 950 McPHERSON SQUARE N.E. CALGARY, AB

**PARKADE PLAN**

scale: As indicated  
 drawn by: AR  
 checked by: TL  
 project no: 218-017  
 date issued: 2020-01-21

re-issue no: sheet no:  
**6 DP2.01**



300, 640 - 8 Avenue S.W.  
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 T +1 403 233 2525

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4	2019-10-09	ISSUED FOR DTR RESPONSE
5	2019-12-13	ISSUE FOR DTR2 RESPONSE
6	2020-11-20	ISSUED FOR CHANGE OF USE
7	2020-11-27	ISSUED FOR CHANGE OF USE REV1
8	2020-12-09	ISSUED FOR CHANGE OF USE REV2
9	2021-05-12	ISSUED FOR CHANGE OF USE

client  
**JEMM Properties**  
 #26, 7003 - 30th ST. S.E. CALGARY, AB T2C1N6

project title  
**THE BRIDGE**  
 THE BRIDGES  
 Building an urban legacy

950 McPHERSON SQUARE N.E. CALGARY, AB

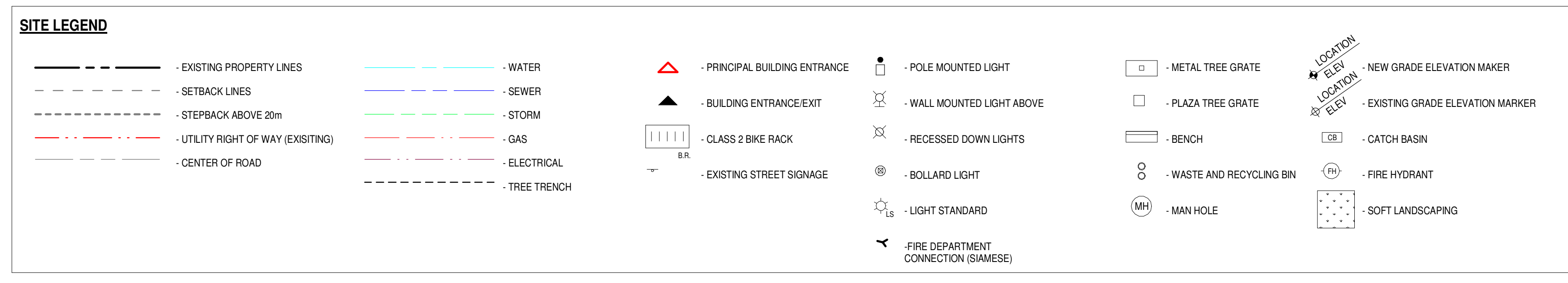
drawing title

**MAIN FLOOR PLAN**

scale: 1 : 100  
 drawn by: AR  
 checked by: TL  
 project no: 218-017  
 date issued: 2021-05-12

re-issue no: 9 DP2.02 sheet no:

PROJECT INFORMATION	
MUNICIPAL ADDRESS	950 McPHERSON SQUARE N.E. CALGARY, AB
LEGAL ADDRESS	LOT 2, BLOCK 7, PLAN 051 2930
COMMUNITY	THE BRIDGES (BRIDGELAND)
LAND USE	DC-64D2019 (BASED ON MU-1)
SITE AREA	3748.022 m <sup>2</sup> [40,343 ft <sup>2</sup> ]
FAR MAX 5.3	19,864.517m <sup>2</sup> [213,820 ft <sup>2</sup> ]
FAR MAX 5.5 (WITH PLAZAS)	20,614.121m <sup>2</sup> [221,888 ft <sup>2</sup> ]
FAR MAX 6.0 (WITH BIKE LOCKERS)	22,488.109 m <sup>2</sup> [242,060 ft <sup>2</sup> ]



300, 640 - 8 Avenue S.W.  
Calgary, AB T2P 1G7  
T +1 403 233 2525

12. Off-Site Requirements

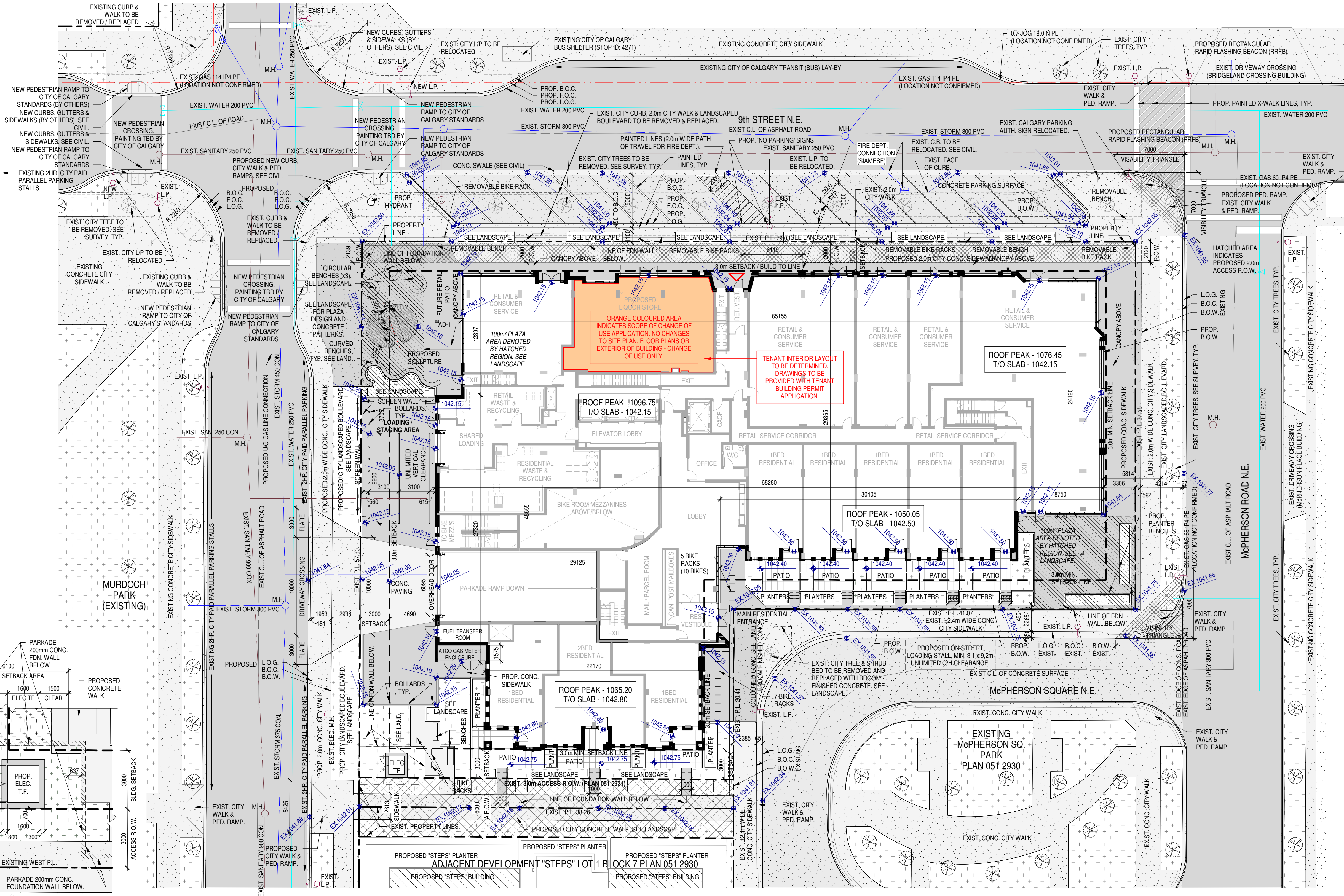
(a) The Purchaser acknowledges that due to the phased nature of the development of The Bridges Lands, it will be necessary for the Purchaser to be responsible, at its sole cost and expense, for the construction, completion, and maintenance in accordance with typical City of Calgary maintenance periods of certain public sidewalks and landscaping adjacent to the property boundaries of the Lands as more fully described in this Document (herein collectively called the "Off-Site Requirements"). The Purchaser further acknowledges that construction, completion and maintenance of the Off-Site Requirements and any indemnities and securities required in respect thereof, will be imposed on the Purchaser in the Lands as a condition of the Development Permit Approval for the Purchaser's Proposed Development.

(b) The Purchaser acknowledges and agrees that the area of work required to be undertaken by the Purchaser in connection with Off-Site Requirements extends beyond the property lines as indicated on the Site Plan attached hereto. The Purchaser agrees to take all steps necessary to ensure a coordinated and uniform interface for all such Off-Site Requirements with other adjacent public improvements.

(c) The Purchaser acknowledges and agrees that the area of work required to be undertaken by the Purchaser in connection with Off-Site Requirements may be subject to different protocols and requirements as certain areas remain under the control of the Vendor pursuant to its standard development agreement with the City of Calgary and certain areas are public areas under the control of the City of Calgary, all as more specifically described in the Site Information Package. The Purchaser agrees to take all steps necessary to ensure a coordinated and uniform interface for all such Off-Site Requirements with other adjacent public improvements.

(d) The Purchaser agrees that it shall be responsible for the construction, at its sole cost and expense of the common sidewalk and associated landscaping, lighting, irrigation, all in accordance with the specifications and requirements set forth in the Site Information Package attached hereto. All such work shall be fully completed and approved prior to issuance of the occupancy permit for the Purchaser's Proposed Development.

PLEASE SEE LANDSCAPE PLAN(S) FOR FURTHER SITE INFORMATION, INCLUDING SOFT LANDSCAPING DETAILS, PLANTING PLANS, PAVING PATTERNS, PLAZA DETAILS, URBAN FURNITURE, BIKE RACKS, ETC.



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consultants

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2	2019-07-16	ISSUED FOR ARC APPROVAL
3	2019-07-22	ISSUED FOR DEVELOPMENT PERMIT
4	2019-10-09	ISSUED FOR DTR1 RESPONSE
5	2019-12-13	ISSUE FOR DTR2 RESPONSE
6	2020-01-21	ISSUED FOR DTR3 RESPONSE
7	2020-06-30	ISSUED FOR DP RELEASE
8	2020-08-27	ISSUED FOR DP RELEASE
9	2020-10-08	WISHING WELL SOLAR STUDY 96"
10	2020-11-20	ISSUED FOR CHANGE OF USE
11	2020-11-27	ISSUED FOR CHANGE OF USE REV1
12	2020-12-09	ISSUED FOR CHANGE OF USE REV2
13	2021-02-26	ISSUED FOR DP CHANGE TO SITE PLAN
14	2021-04-16	FOR DP CHANGE TO SITE PLAN PTR
15	2021-05-12	ISSUED FOR CHANGE OF USE

client

JEMM Properties

#26, 7003 - 30th St. S.E. JEMM PROPERTIES  
CALGARY, AB T2C1N6

project title

THE BRIDGE  
BRIDGELAND  
THE BRIDGES  
Building an urban legacy

950 McPHERSON SQUARE N.E. CALGARY, AB

SITE PLAN

scale: As indicated

drawn by: TP

checked by: TL

project no: 218-017

date issued: 2021-05-12

re-issue no: sheet no: 15 DP1.01

2 PROPOSED ELECTRICAL TRANSFORMER  
DP1.01 SCALE: 1:100

1 SITE PLAN  
DP1.01 SCALE: 1:200

**From:** [Briegel, Michael J.](#)  
**To:** [DP Circ](#)  
**Cc:** [Bronson, Daniel J.](#)  
**Subject:** RE: DP2021-3912 - Circulation @ 950 MCPHERSON SQ NE  
**Date:** Tuesday, June 15, 2021 2:13:55 PM

---

No issues from business licence

**MICHAEL BRIEGEL**

Chief Licence Inspector  
Compliance Services  
P.O. Box 2100, Stn. M, #128  
Calgary, AB Canada T2P 2M5  
T 403-643-6341  
[michael.briegel@calgary.ca](mailto:michael.briegel@calgary.ca)  
ISC: Protected

---

**From:** Halliburn, Pamela E. <Pamela.Halliburn@calgary.ca> **On Behalf Of** DP Circ  
**Sent:** Tuesday, June 15, 2021 12:25 PM  
**Cc:** DP Circ <DP.Circ@calgary.ca>; Bronson, Daniel J. <Daniel.Bronson@calgary.ca>  
**Subject:** DP2021-3912 - Circulation @ 950 MCPHERSON SQ NE

Good day,

A Development Permit application has been submitted to The City. Applications received by The City on or after June 1 may include plans that can be viewed and shared through the Development Map.

Please see attached Circulation Package.

While our Circulation Team is still accepting comments via [DP.circ@Calgary.ca](mailto:DP.circ@Calgary.ca) we are requesting community associations to comment online through the [Development Map](#).

**NEW | We're going digital in order to better serve you!**

The Development Map gives you the ability to share plans with stakeholders and send questions and comments directly to the file manager. It's a one-stop shop for development applications.

We're also proud to share the recent launch of our [Development Map Landing Page](#)! This website is a wonderful resource for people to learn how to use the Development Map to effectively comment on applications that matter to them. Please share [Calgary.ca/development](http://Calgary.ca/development) with anyone you feel would benefit from this information.

To support this exciting initiative, you will notice some improvements to the circulation packages. These changes include:

- The phasing out of plans attached to the circulation email. This process will take some time as we move plans and renderings online.
- The need to submit feedback to our circulation team.
- The removal of specific private information from plans.

The circulation team will be able to better assist you, by providing up-to-date plans on the Development Map. Plus, you can view the original plans, revised plans and approved plans to see how the proposal developed over time.

Thanks in advance for taking this step forward with us. We would like to hear you feedback on the new resources and ideas on how to continue to supporting your needs appropriately. We're here to create a more streamlined system and support you in your participation.

Sincerely,

**The Circulation Team**

[DP.circ@calgary.ca](mailto:DP.circ@calgary.ca)

**From:** [EAward9 - Devon LeClair](#)  
**To:** [Bronson, Daniel J.](#)  
**Cc:** [DP Circ](#)  
**Subject:** DP2021-3912  
**Date:** Monday, July 5, 2021 4:46:56 PM  
**Attachments:** [image002.png](#)

---

Dear Daniel,  
CII Carra has no objections to this application.  
Best regards,  
Kalina  
Kalina McCaul, on behalf of





---

# Development Authority Response to Notice of Appeal

---

**Appeal number:** SDAB2021-0051

**Development Permit number:** DP2021-3912

**Address:** 950 McPherson SQ NE

**Description:** Revision: Liquor Store (change of use to DP2019-3729)

**Land Use:** Direct Control 64D2019

**Community:** Bridgeland

**Jurisdiction Criteria:**

Subject to National Resources Conservation Board, Energy Resources Conservation Board, Alberta Energy Regulator, Alberta Energy and Utilities Board, Alberta Utilities Commission or Minister of Environmental and Parks license, permit, approval, or other authorization: No

**DA Attendance:** No



**Use:** Discretionary

**Notice Posted:** Yes

**Objections:** No

**Support:** No

**Bylaw relaxations:**

The development, requires the following relaxations of the rules of the Land Use Bylaw:

<b>Bylaw Variances</b>		
<b>Regulation</b>	<b>Standard</b>	<b>Provided</b>
40 Applications the Development Authority Must Refuse	(h) is for a <a href="#">Liquor Store</a> in any district, other than the C-R2, C-R3 and CR20-C20/R20 Districts, that requires more than a 10 per cent relaxation of a minimum separation distance specified in subsections 225(d) or 225(e)...	There is one approved Liquor Store use located within 300 metres from the subject unit: <ul style="list-style-type: none"> <li>• 246.5 metres (-53.5 metres) from the approved Liquor Store at 921 General Avenue N.E, a 17.8% relaxation.</li> </ul>
225 Liquor Store	(e) in all Districts, not including the C-R2, C-R3 and CR20-C20/CR20 Districts, must not be located within 300.0 metres of any other Liquor Store, when measured from the closest point of a Liquor Store to the closest point of another Liquor Store;	

**Applicable ARP, ASP or Design Brief (in addition to the MDP):**

- Bridgeland Riverside Area Redevelopment Plan (ARP)
- Liquor Store Separation Distance Guideline

**Additional factors, considerations and rationale for the decision:**

1. Please see the Reasons for Refusal
2. In response to the Notice of Appeal:
  - a. The Appellant indicates they are moving an approved within the building. The Development Authority suggests a prior to release condition be included regarding the cancelation of the pre-existing liquor store approval. Proposed conditions are included in the Board Report.

**AMENDED DRAWINGS**  
 DP No Date Received  
 DP2020-7571 DEC 10 2020  
 THESE DRAWINGS REFER TO THE ABOVE DEVELOPMENT PERMIT NO.

CITY OF CALGARY - PLANNING, DEVELOPMENT AND ASSESSMENT THESE ARE THE PLANS REFERRED TO IN DEVELOPMENT PERMIT NO.	
DP No 2020-7571	Date Issued JAN 1 2021
<b>PROJECT INFORMATION</b> MUNICIPAL ADDRESS: 950 McPHERSON SQUARE N.E. CALGARY, AB DEVELOPMENT: D. BRONSON	
<b>LEGAL ADDRESS</b> CITY OF CALGARY CITY OF CALGARY PLANNING APPLICATIONS THIS PLAN APPROVES THE CHANGED USE ONLY. NO OTHER APPROVAL IS EITHER REQUIRED OR CONVEYED BY THE REVIEW OF THIS PLAN.	LOT 2, BLOCK 7, PLAN 051 2930 THE BRIDGES [BRIDGELAND] DC-64D2019 (BASED ON MU-1)
<b>SITE AREA</b>	3748.022 m <sup>2</sup> [40,343 ft <sup>2</sup> ]
<b>FAR MAX 5.3</b>	19,864.517m <sup>2</sup> [213,820 ft <sup>2</sup> ]
<b>FAR MAX 5.5 (WITH PLAZAS)</b>	20,614.121m <sup>2</sup> [221,888 ft <sup>2</sup> ]
<b>FAR MAX 6.0 (WITH BIKE LOCKERS)</b>	22,488.109 m <sup>2</sup> [242,060 ft <sup>2</sup> ]

DEVELOPMENT PERMIT DECISION RENDERED ON THIS PLAN

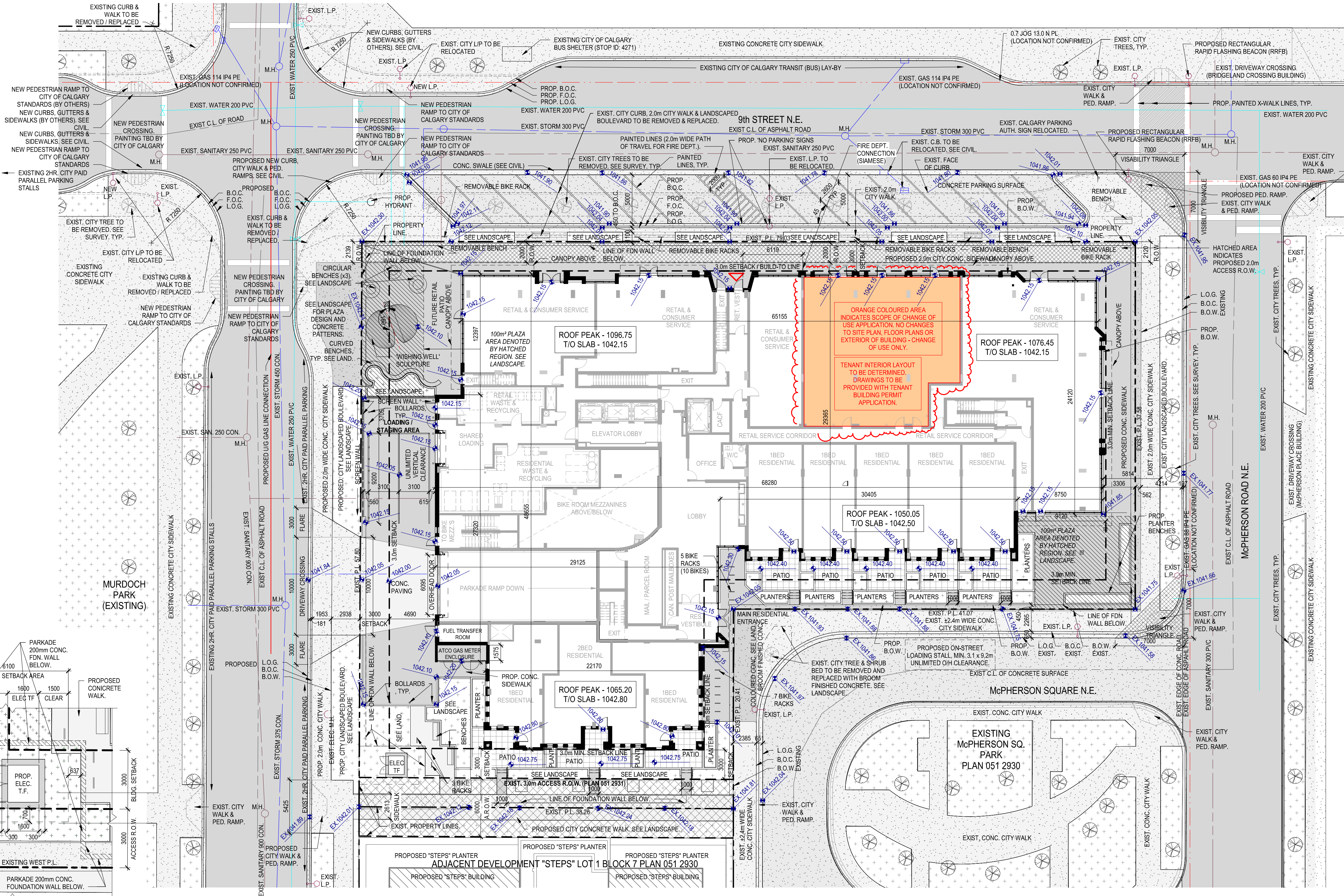
**SITE LEGEND**

- - - - - EXISTING PROPERTY LINES
- - - - - SETBACK LINES
- - - - - STEPBACK ABOVE 20m
- - - - - UTILITY RIGHT OF WAY (EXISTING)
- - - - - CENTER OF ROAD
- - - - - WATER
- - - - - SEWER
- - - - - STORM
- - - - - GAS
- - - - - ELECTRICAL
- - - - - TREE TRENCH
- ▲ - PRINCIPAL BUILDING ENTRANCE
- ▲ - BUILDING ENTRANCE/EXIT
- ▲ - CLASS 2 BIKE RACK
- ▲ - EXISTING STREET SIGNAGE
- - POLE MOUNTED LIGHT
- - WALL MOUNTED LIGHT ABOVE
- - RECESSED DOWN LIGHTS
- - BOLLARD LIGHT
- - LIGHT STANDARD
- - FIRE DEPARTMENT CONNECTION (SIAMESE)
- - METAL TREE GRATE
- - PLAZA TREE GRATE
- - BENCH
- - WASTE AND RECYCLING BIN
- - MAN HOLE
- ▲ - NEW GRADE ELEVATION MAKER
- ▲ - EXISTING GRADE ELEVATION MARKER
- ▲ - CATCH BASIN
- ▲ - FIRE HYDRANT
- ▲ - SOFT LANDSCAPING

**12. Off-Site Requirements**

- The Purchaser acknowledges that due to the phased nature of the development of The Bridges Lands, it will be necessary for the Purchaser to be responsible, at its sole cost and expense, for the construction, completion, and maintenance in accordance with typical City of Calgary maintenance periods of certain public sidewalks and landscaping adjacent to the property boundaries of the Lands as more fully described in this Document (herein collectively called the "Off-Site Requirements"). The Purchaser further acknowledges that construction, completion and maintenance of the Off-Site Requirements and any indemnities and securities required in respect thereof, will be imposed on the Purchaser in the Lands as a condition of the Development Permit Approval for the Purchaser's Proposed Development.
- The Purchaser acknowledges and agrees that the area of work required to be undertaken by the Purchaser in connection with Off-Site Requirements extends beyond the property boundaries as indicated on the Site Plan attached hereto. The Purchaser agrees to take all steps necessary to ensure a coordinated and uniform interface for all such Off-Site Requirements with other adjacent public improvements.
- The Purchaser acknowledges and agrees that the area of work required to be undertaken by the Purchaser in connection with Off-Site Requirements may be subject to different protocols and requirements as certain areas remain under the control of the Vendor pursuant to its standard development agreement with the City of Calgary and certain areas are public areas under the control of the City of Calgary, all as more specifically described in the Site Information Package. The Purchaser agrees to take all steps necessary to ensure a coordinated and uniform interface for all such Off-Site Requirements with other adjacent public improvements.
- The Purchaser agrees that it shall be responsible for the construction, at its sole cost and expense of the common sidewalk and associated landscaping, lighting, irrigation, all in accordance with the specifications and requirements set forth in the Site Information Package attached hereto. All such work shall be fully completed and approved prior to issuance of the occupancy permit for the Purchaser's Proposed Development.

PLEASE SEE LANDSCAPE PLAN(S) FOR FURTHER SITE INFORMATION, INCLUDING SOFT LANDSCAPING DETAILS, PLANTING PLANS, PAVING PATTERNS, PLAZA DETAILS, URBAN FURNITURE, BIKE RACKS, ETC.



NOT FOR CONSTRUCTION

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Issue No.	Date	Description
1	2019-06-14	ISSUED FOR ARC REVIEW
2	2019-07-16	ISSUED FOR ARC APPROVAL
3	2019-07-22	ISSUED FOR DEVELOPMENT PERMIT
4	2019-10-09	ISSUED FOR DTR1 RESPONSE
5	2019-12-13	ISSUED FOR DTR2 RESPONSE
6	2020-01-21	ISSUED FOR DTR3 RESPONSE
7	2020-06-30	ISSUED FOR DP RELEASE
8	2020-08-27	ISSUED FOR DP RELEASE
9	2020-10-08	WISHING WELL SOLAR STUDY 96°
10	2020-11-20	ISSUED FOR CHANGE OF USE REV1
11	2020-11-27	ISSUED FOR CHANGE OF USE REV1
12	2020-12-09	ISSUED FOR CHANGE OF USE REV2

client  
**JEMM Properties**  
 #26, 7003 - 30th St. S.E. JEMM PROPERTIES  
 CALGARY, AB T2C1N6

project title  
**THE BRIDGE AT BRIDGELAND**  
**THE BRIDGES**  
 Building an urban legacy  
 950 McPHERSON SQUARE N.E. CALGARY, AB

**SITE PLAN**

scale: As indicated  
 drawn by: TP  
 checked by: TL  
 project no: 218-017  
 date issued: 2020-12-09

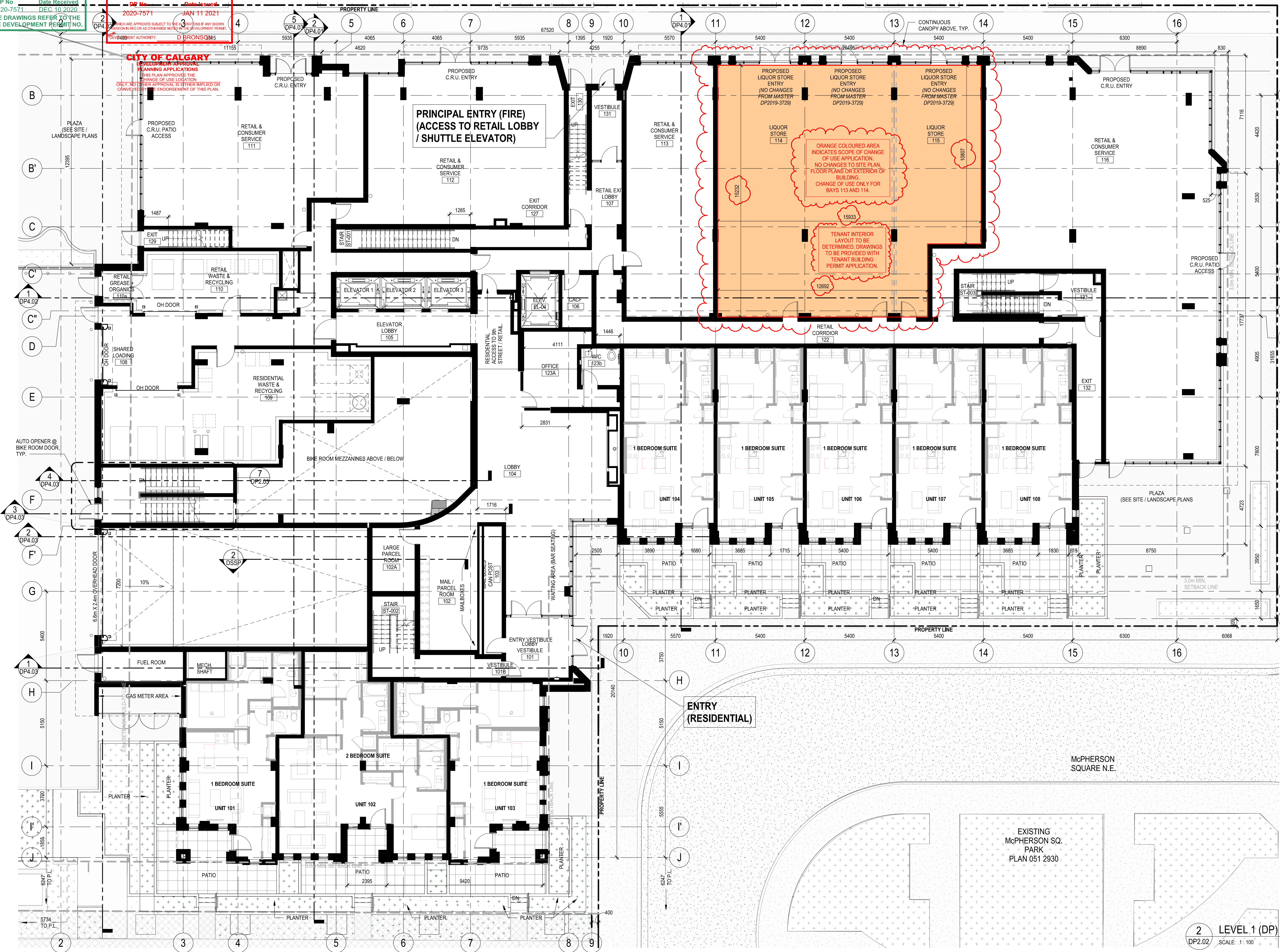
re-issue no: sheet no:  
**12 DP1.01**

**2** PROPOSED ELECTRICAL TRANSFORMER  
 DP1.01 SCALE: 1:100

**1** SITE PLAN  
 DP1.01 SCALE: 1:200

**AMENDED DRAWINGS**  
 DP No. Date Received  
 DP2020-7571 DEC 10 2020  
 THESE DRAWINGS REFER TO THE ABOVE DEVELOPMENT PERMIT NO.

**CITY OF CALGARY**  
 DEVELOPMENT SERVICES  
 PLANNING APPLICATIONS  
 THIS PLAN APPROVES THE CHANGE OF USE LOCATION ONLY. NO OTHER APPROVAL IS EITHER REQUIRED OR CONVEYED BY THE ENDORSEMENT OF THIS PLAN.  
 DP No. Date Received  
 2020-7571 JAN 11 2021  
 APPROVED BY: D BRONSON



300, 640 - 8 Avenue S.W.  
 Calgary, AB T2P 1G7  
 T +1 403 233 2525

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5	2019-12-13	ISSUE FOR DTR2 RESPONSE
6	2020-11-20	ISSUED FOR CHANGE OF USE
7	2020-11-27	ISSUED FOR CHANGE OF USE REV1
8	2020-12-09	ISSUED FOR CHANGE OF USE REV2

client  
**JEMM Properties**  
 #26, 7003 - 30th St. S.E. JEMM PROPERTIES  
 CALGARY, AB T2C1N6

project title  
**THE BRIDGE**  
 AT BRIDGLAND  
**THE BRIDGES**  
 Building an urban legacy

950 McPHERSON SQUARE N.E. CALGARY, AB

drawing title  
**MAIN FLOOR PLAN**

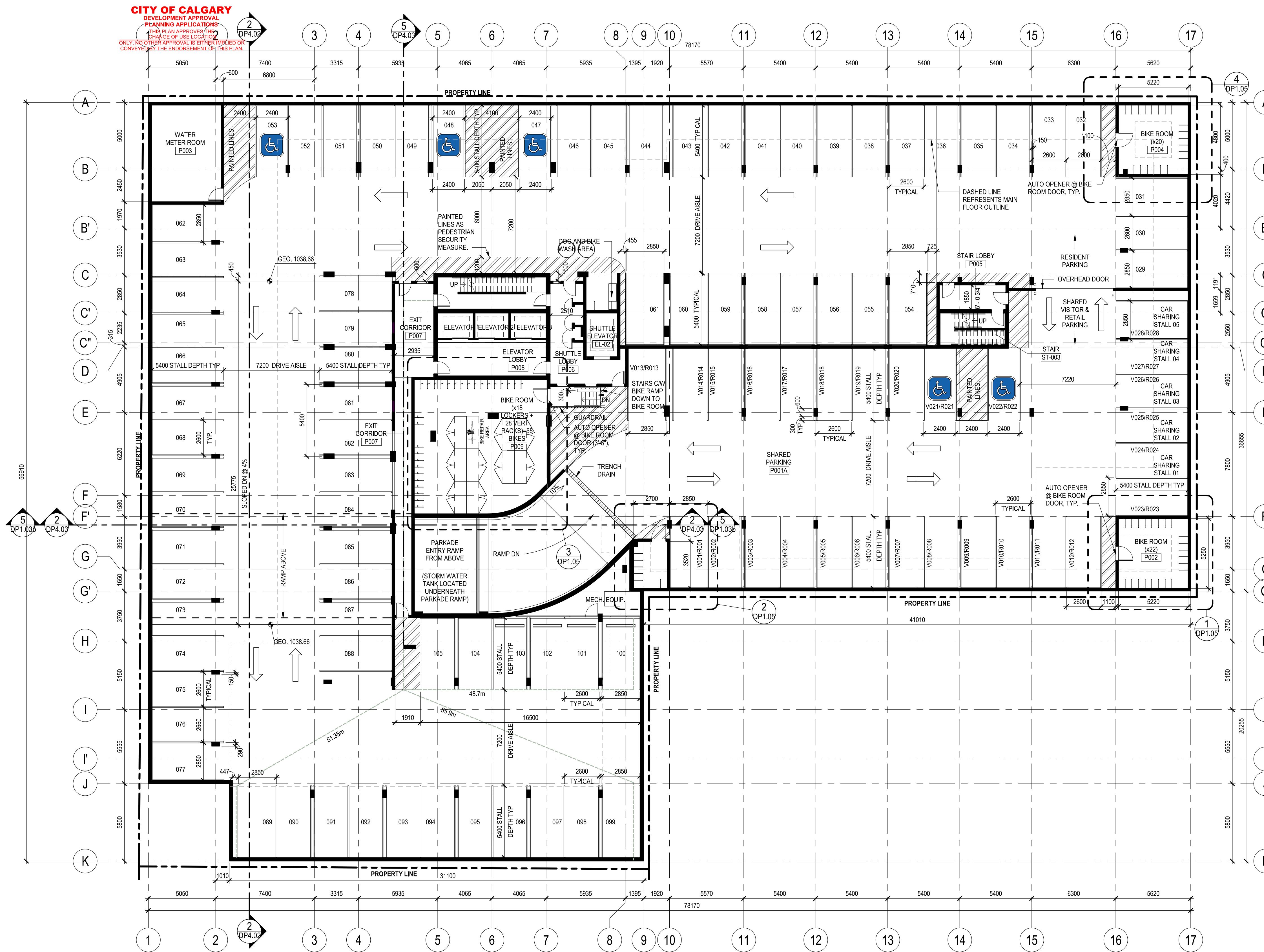
scale: 1 : 100  
 drawn by: AR  
 checked by: TL  
 project no: 218-017  
 date issued: 2020-12-09

re-issue no: 8 DP2.02  
 sheet no: 8 DP2.02

2 LEVEL 1 (DP)  
 DP2.02 SCALE: 1:100

**AMENDED DRAWINGS**  
 DP No Date Received  
 DP2020-7571 DEC 10 2020  
 THESE DRAWINGS REFER TO THE  
 ABOVE DEVELOPMENT PERMIT NO.

**CITY OF CALGARY**  
 DEVELOPMENT APPROVAL  
 PLANNING APPLICATIONS  
 THIS PLAN APPROVES THE  
 CHANGE OF USE LOCATED AT  
 950 McPHERSON SQUARE N.E. CALGARY, AB  
 WHICH ARE APPROVED SUBJECT TO THE ALTERATIONS IF ANY SHOWN  
 HEREON AND AS OTHERWISE NOTED TO THE DEVELOPMENT PERMIT.  
 DEVELOPMENT AUTHORITY: D. BRONSON  
 DP No Date Issued  
 2020-7571 JAN 11 2021



**1 PARKADE (DP)**  
 DP2.01 SCALE: 1:150

- PARKADE NOTES**
- ALL WALLS, COLUMNS, AND CEILINGS IN PARKADE ARE TO BE PAINTED WHITE
  - ALL BARRIER-FREE AND VISITOR PARKING SIGNAGE IS TO BE PAINTED IN ACCORDANCE WITH CITY OF CALGARY SYMBOL STANDARDS AND REGULATIONS
  - ALL PARKING STALLS ARE TO BE A MINIMUM OF 2600mm x 5400mm FOR VISITOR PARKING AND 2800mm x 5400mm FOR RESIDENCE PARKING WITH A MINIMUM OVERHEAD CLEARANCE OF 2100mm
  - ALL STAIRWELL VESTIBULE DOORS AND ELEVATOR LOBBIES SHALL HAVE TRANSPARENT PANELS TO ENSURE VISIBILITY INTO THESE AREAS. LIGHTING IN THESE AREAS IS TO BE VANDAL PROOF
  - ALL ENCRANCHING COLUMNS ARE TO ENCRANCH A MAXIMUM OF 300mm INTO PARKING STALLS
  - ALL SANITARY & STORM DRAINAGE PIPING TO BE RUN ON THE SIDE OF PARKADE WALLS WHERE REQUIRED BELOW 2100mm TO MAINTAIN PIPING INVERTS AND SLOPE
  - ALL MECHANICAL PIPING, DUCTWORK AND EQUIPMENT RUN OVER PARKING STALLS AND DRIVE AISLES TO BE INSTALLED IN A MANNER TO ALLOW FOR A MINIMUM OF 2100mm CLEARANCE BELOW
- PARKING COUNT**
- 28 SHARED VISITOR AND RETAIL PARKING \* V###/R### \*
  - 77 RESIDENTIAL STALLS
  - 105 TOTAL PARKING STALLS

**PARKADE PLAN FOR REFERENCE ONLY TO SHOW EXTENT OF VISITOR PARKING. NO CHANGES TO PREVIOUSLY APPROVED/RELEASED MASTER DEVELOPMENT PERMIT DP2019-3729**

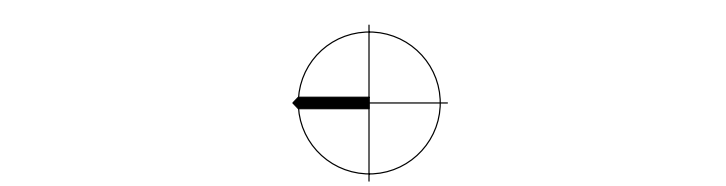


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6	2020-01-21	ISSUED FOR DTR3 RESPONSE
7	2020-11-20	ISSUED FOR CHANGE OF USE

client  
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project title  
**THE BRIDGE**  
 AT BRIDGELAND  
**THE BRIDGES**  
 Building an urban legacy  
 950 McPHERSON SQUARE N.E. CALGARY, AB

**PARKADE PLAN**

scale: As indicated  
 drawn by: AR  
 checked by: TL  
 project no: 218-017  
 date issued: 2020-01-21

re-issue no: sheet no:  
**6 DP2.01**

**From:** McLean, Lauren E. on behalf of Calgary SDAB Info  
**Sent:** August 19, 2021 2:09 PM  
**To:** Calgary SDAB Info  
**Subject:** SDAB2021-0051 (DP2021-3912, 950 McPherson Square NE)

Good afternoon,

Please be advised that The Board has scheduled the hearing of appeal SDAB2021-0051 to continue on Thursday October 7, 2021 starting at 1:30pm. One of the issues the Board will be considering is whether it has jurisdiction to grant the variance requested in this case given the Court of Appeal's ruling in CPFM Management Services Ltd. v Edmonton (City), and the parties are encouraged to address this in their submissions.

Please do not hesitate to contact the SDAB Admin office if you have any further questions or concerns regarding this matter.

Thank you,

**SDAB Admin**

City Appeal Boards, Appeals and Tribunals  
City Clerk's Office | The City of Calgary | Mail Code #8110  
PO Box 2100, Station M | Calgary, AB T2P 2M5  
General Phone Line: 403.268.5312 | [calgarysdab.ca](http://calgarysdab.ca)