

REPORT TO THE SUBDIVISION AND  
DEVELOPMENT APPEAL BOARD

<b>DATE:</b> <del>August 26, 2021; September 30, 2021;</del> <del>October 6, 2021;</del> December 16, 2021	<b>APPEAL NO.:</b> SDAB 2021-0052 <b>FILE NO.:</b> DP2021-1960
<b>APPEAL BY:</b> M. Elizabeth Burke-Gaffney	
<b>FROM A DECISION OF THE DEVELOPMENT AUTHORITY where a</b>  <b>New: Accessory Residential Building (garage), Backyard Suite (above garage).</b>  <b>was approved at <u>5 West Glen Crescent SW</u></b>	<b>LAND USE DESIGNATION: R-C1</b>  <b>Discretionary</b>
<b>COMMUNITY OF:</b> Westgate	<b>DATE OF DECISION:</b> July 5, 2021
<b>APPLICANTS:</b> Dawna and Gregory Nelson	<b>OWNERS:</b> Dawna and Gregory Nelson

The hearing commenced on August 26, 2021, with consideration of procedural and jurisdictional issues. The Board adjourned the hearing to September 30, 2021. Due to the declaration of a statutory holiday, the Board rescheduled the hearing with the agreement of the parties to October 6, 2021. The Board adjourned the hearing to the Call of the Chair, which was brought forward to be heard on December 16, 2021.

**Notes:**

- Notice has been given of the hearing pursuant to the *Municipal Government Act* and Land Use Bylaw, including notices to parties who may be affected by the appeal. The final determination of whether a party is an “affected person” will be made by the Board if required.
- This Report is provided as a courtesy only. The Board’s record may include additional materials, including notifications to affected parties and correspondence of a procedural or administrative nature.



## NOTICE OF APPEAL

### SUBDIVISION AND DEVELOPMENT APPEAL BOARD

CC 821 (R2014-01)

In accordance with Sections 678 and 686 of the Municipal Government Act and The City of Calgary Bylaw 25P95, as amended, an appeal to the Subdivision and Development Appeal Board must be filed within the legislated time frame and each Notice of Appeal must be accompanied by the legislated fee. For filing instructions and fee payment options, see the reverse side of this form.

ISC: Unrestricted

Online Store Information			
Confirmation Number 10384970	Order Number 35658108	Online Form Processed 2021-07-28 5:54:13 PM	
Site Information			
Municipal Address of Site Under Appeal 5 WEST GLEN CRESCENT S.W.		Development Permit/Subdivision Application/File Number BP2021-1960	
Appellant Information			
Name of Appellant M. ELIZABETH BURKE-GAFFNEY		Agent Name (if applicable)	
Street Address (for notification purposes) 9 WEST GLEN CRESCENT S.W.			
City CALGARY	Province ALBERTA	Postal Code T3C 2X5	Residential Phone # (403) 249-1103
Business Phone # 403-262-2244	Email Address ebg@cleverguy.com		

#### APPEAL AGAINST

Development Permit	Subdivision Application	Notice of Order
<input checked="" type="checkbox"/> Approval	<input type="checkbox"/> Approval	<input type="checkbox"/> Notice of Order
<input type="checkbox"/> Conditions of Approval	<input type="checkbox"/> Conditions of Approval	
<input type="checkbox"/> Refusal	<input type="checkbox"/> Refusal	

**REASONS FOR APPEAL** Sections 678 and 686 of the Municipal Government Act require that the written Notice of Appeal must contain specific reasons for the appeal.

<p><b>I do hereby appeal the decision of the Subdivision/Development Authority for the following reasons:</b></p> <p>See attached</p>
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**In order to assist the Board in scheduling, please answer the following questions to the best of your ability:**

Estimated presentation time (minutes/hours) 1 HOUR	Will you be using an agent/legal counsel? <input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Unknown
Do you anticipate any preliminary issues with your appeal? (i.e. jurisdiction, parties status as affected persons, adjournment, etc.) <input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Unknown	
If yes, what are the issues?	
Do you anticipate bringing any witnesses/experts to your hearing? <input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Unknown	If yes, how many will you be bringing?

This personal information is collected under the authority of the Freedom of Information and Protection of Privacy Act, Section 33(c) and the Municipal Government Act, Sections 678 and 686. NOTE: THIS INFORMATION WILL FORM PART OF A FILE AVAILABLE TO THE PUBLIC. If you have any questions regarding the collection of this information, contact the City Appeal Boards at 403-268-5312 or PO Box 2100 Stn. "M", #8110, Calgary, AB, T2P 2M5.

FOR OFFICE USE ONLY				
Final Date of Appeal YYYY MM DD <b>2021 07 29</b>	SDAB Appeal Number <b>SDAB2021-0052</b>	Fee Paid <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Hearing Date YYYY MM DD <b>2021 08 26</b>	Date Received <b>July 28, 2021</b>

**SDAB2021-0052**

**REASONS FOR APPEAL** Sections 678 and 686 of the *Municipal Government Act* require that the written Notice of Appeal must contain specific reasons for the appeal.

I do hereby appeal the decision of the Subdivision/Development Authority for the following reasons (Attach a separate page if required):

I am respectfully requesting that the Appeal Board refer to the City of Calgary Garage suite guidelines, which in summary outlines, it is most recommended that applicants position these suites "...bulk to building... yard to yard". When speaking with Mr. Pirri, he indicated that the guideline was not followed because there are existing trees and there is a guy-wire. He also shared that the initially proposed structure had to be moved forward on the lot to accommodate the power lines overhead. I see that the revised drawing situates the structure 2.3 m (~7 feet) from the property line...out of the power line, and notably the guy-wire's way (see photo's attached). As it relates to the existing trees, the birch tree is already suffering from some disease (photo attached) and the other trees will be affected by the construction one way or the other due to their intertwining root system and age of the trees. Therefore, there is no valid reason for the appeal board not to consider moving the proposed structure to the south side of the lot against a tall building located at 24 Wheatland Avenue (see photo attached). It is most unreasonable for the City not to consider it's own guideline, when in this particular circumstance, it's so simply to follow. I am not opposed to the development, only it's placement. The size and girth of the structure will shadowing the prize of my own lot and effectively devalue it. I question the City's publishing the guideline if it will not follow it's own advice. Therefore, I respectfully request that the Appeal Board seriously consider my appeal.

Appeal Board received: July 30, 2021  
Submitted by: E. Burke-Gaffney, Appellant

**Elizabeth Burke-Gaffney**

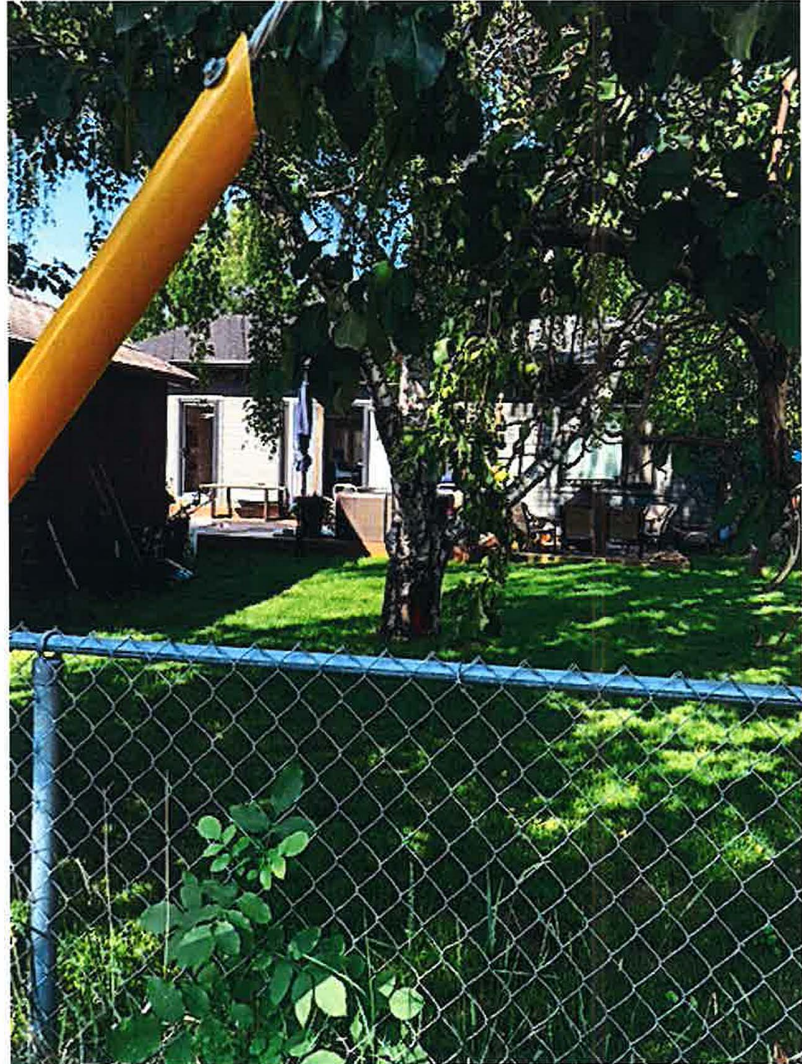
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**From:** Elizabeth Burke-Gaffney  
**Sent:** Thursday, July 29, 2021 10:23 AM  
**To:** Elizabeth Burke-Gaffney











M. Elizabeth M. Burke-Gaffney

**Appeal Board Received: August 18, 2021**  
**Submitted by: E. Burke-Gaffney, Appellant**

I live at 9 West Glen Crescent SW; have done for 25 years enjoying the quiet space. I have worked very hard at creating a back yard oasis for the family; it has come along over time.

The application DP2021-1960 has been approved by the City of Calgary, which approval has ignored the City's own guideline: "...building to building... yard to yard." What follows is a breakdown of what I believe to be the issues -- I am not opposing the development I am only opposing the placement of such development on the lot, 5 West Glen Crescent SW. In Westgate, the lots on West Glen Crescent SW, developed in the 1950's, each face east with west facing back yards and then on the other side of the crescent the reverse. On this street, all of the garages have been placed on the north side of the lots. This same fortunate placement is found on #5 West Glen Crescent's south neighbor which abuts 24 Wheatland Avenue on which lot there is a north garage (as that lot faces south, one might characterize his tall'ish garage as being on the west side of his lot). Therefore, what follows is my pitch to convince you that it makes abundant sense for the applicant to move the proposed structure to the south side of #5 lot, paving the way for such development on the rest of the Crescent in accordance with the City of Calgary's How-To Guideline. At present, the only lot affected by the approved proposed structure is mine. I believe I have identified the issues and subsequently presented enough for your respective consideration.

The issues:

- The structure, as proposed, has completely ignored the provisions outlined in the "Backyard Suites How-to Guide". Why have a guideline and not follow it? How can the City expect others to follow the guideline if the City itself is unprepared to do so?;
- The structure, as proposed, not only abuts my property but severely impairs the light in my backyard and severs the open space currently enjoyed.

## Some detail:

The City's approval of DP2021-1960 was subject to the movement of the proposed structure by 2.3m (approx. 8 feet) from the back lane and 1.2 m (approx 4 ft) from the joint fence line. Also, worth noting is the revised plan revealed that the existing garage will be demolished.

## Comparison of what exists now versus with the construction of the proposed structure:

Today, the existing garage front is 25 feet from the back of 9 West glen home (photos following); it's dimension is approx 24 feet wide, approx 14 feet in height. The proposed newstructure placement will be 8 feet closer to the back and 10-12 feet higher! The encroachment of a massive structure will not only erode any feeling of an open back yard being approximately 17 ft from the back/side door of my home and it will substantially reduce the light in the yard such that it will condemn such space... it will feel akin to a prison yard. (See also "Lastly...").



In approving the construction of the new structure, the City verbally shared they considered, presumably among other things, the trees: a diseased birch tree (see tree trunk)\*, an ornamental cherry tree and 2 fruit trees, the product from which goes to the green bin: see photos. If the applicant was so concerned about keeping these trees, why is there such debris? Any construction for this massive structure will upset all of the roots, not only given the age of the trees and the intertwining of their roots but the fact that the proposed size of the structure is surely to result in the removal of these trees.

\*See below... I have had to removed a diseased tree in my own yard.









The dent of hard work:

What follows is only to share that I have worked very hard to tend and maintain the open space and feel of my yard, which has not been without a boatload of sweat: I have removed a diseased birch tree\*; a spruce tree, a massive cottonwood tree and 2 pine trees all in the back yard; then I built a raised the garden around the garage, rebuilt the fence and in spite of it being City property, sowed grass behind the fence, so it's neat and tidy. What does this have to do with the application? With the stroke of a pen, an individual at the City has undermined years of my work potentially eroding that which I have built for my family's enjoyment. Why? What is the main reason? It can't be foliage, as we discussed above... it just has to be the one thing.

Photos of the yards.













The guy-wire – at the heart of the issue:

Admittedly, the crux of the issue is this guy-wire. If the structure was moved to the south side, the existing placement of the guy-wire would prevent egress. However, the guy-wire can be easily moved from the north side of the pole to the south side of the pole, which action is feasible. While I realize there is a chain-link gate at the west end of 24 Wheatland Crescent, I sincerely believe with the angle of the guy-wire, there should not be any obstruction. I further realize that the placement of the transformers and the tension of the wire would be under consideration -- none of these are insurmountable. Nevertheless, see the current access photos.

The City can follow it's own guideline – building to building, yard to yard. In doing so, no property is impaired not to mention that it walks it's talks: proof that it has followed it's own guideline. In not doing so, the City has defacto prejudicially favoured one property over the other, not simply in the diminish value, but the intrinsic quiet enjoyment of the space currently enjoyed (feel and light) at 9 West Glen Crescent SW. Additionally, how can the City expect any other resident to follow its guideline when the City has chosen not to?

To reiterate, the proposed structure, as amended, will be within 17 feet of my home and 10-15feet higher. The proposed structure is 28 feet in width; the existing birch tree is only 5 feet from the existing garage, which when the construction begins, the trees will be in the way. In order for construction to proceed, the trees will have to be uprooted. Again, I do believe the heart of the matter is the guy-wire, which if moved, is unlikely to impair the egress to the chain-link fence, due to the angle of the wire on the south side of the pole.

Therefore, I am respectfully requesting that the Subdivision and Development Appeal Board consider the severe impairment to my property and amend the approval of the CP2021-1960 such that the applicant is instructed to move it's proposed structure to the south side of the lot. Again to reiterate, the existing structure will be demolished as a result one is starting fresh. There is no saving any foliage in the back yard and the only hurdle, if it really is one, is the guy-wire which only has to be moved from the north side of the pole to the south.

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**Photos:**















Respectfully, you'd think that the City and Enmax would be collaborating for good news, considering this news story:

<https://globalnews.ca/news/2636889/calgary-couple-can-use-blocked-driveway-again-after-a-global-news-investigation/>

Lastly, since the new owners have renovated the house by adding approx 400–600 ft<sup>2</sup>, the primary difference for 9 West Glen Crescent SW is that less than 1 ft from the joint fence line and within 5 ft of my kitchen window, one stares at the RV parked 8–9 months of the year. How much impairment should a neighbor have to take?



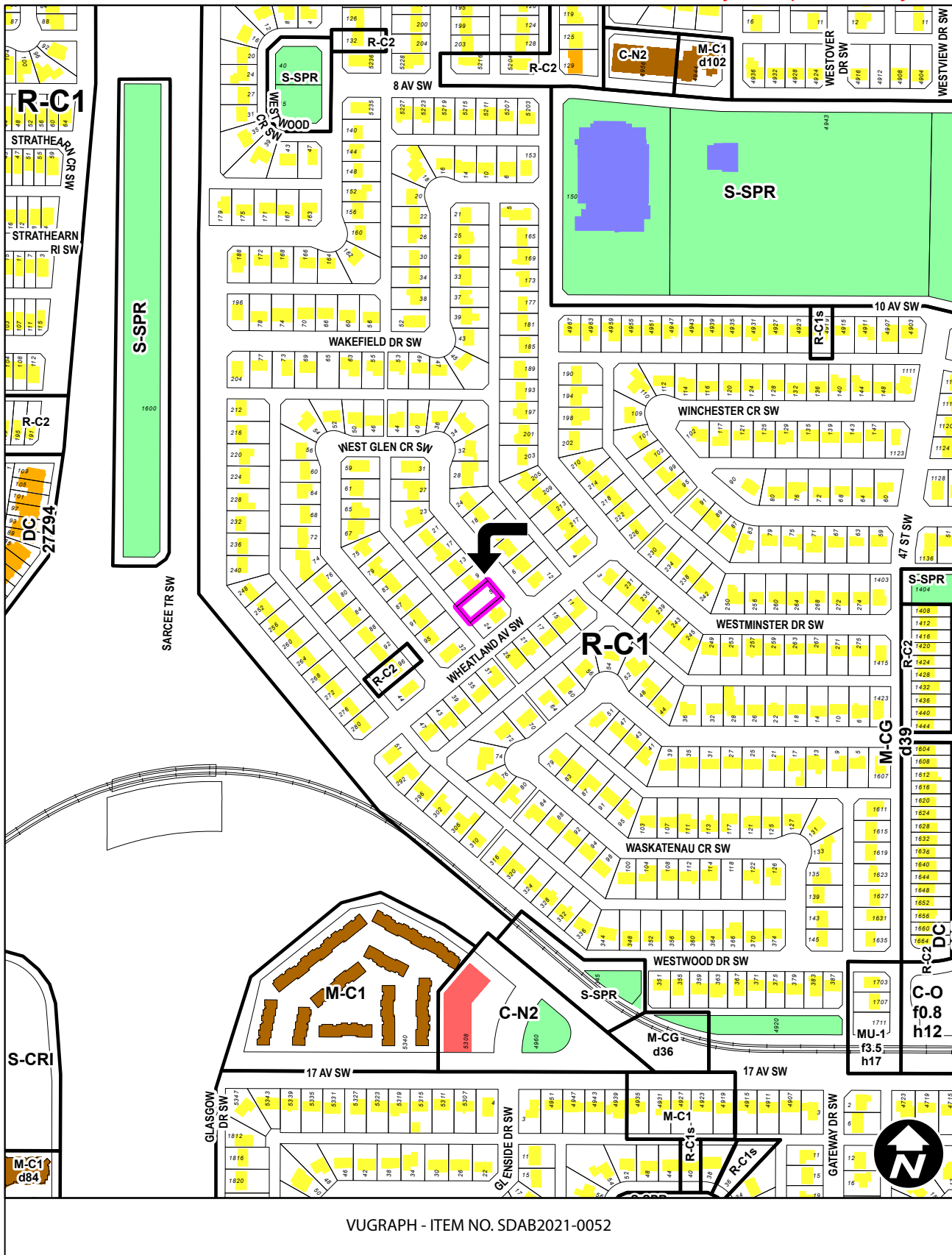
**35**

View to prior the current owner's renovation:

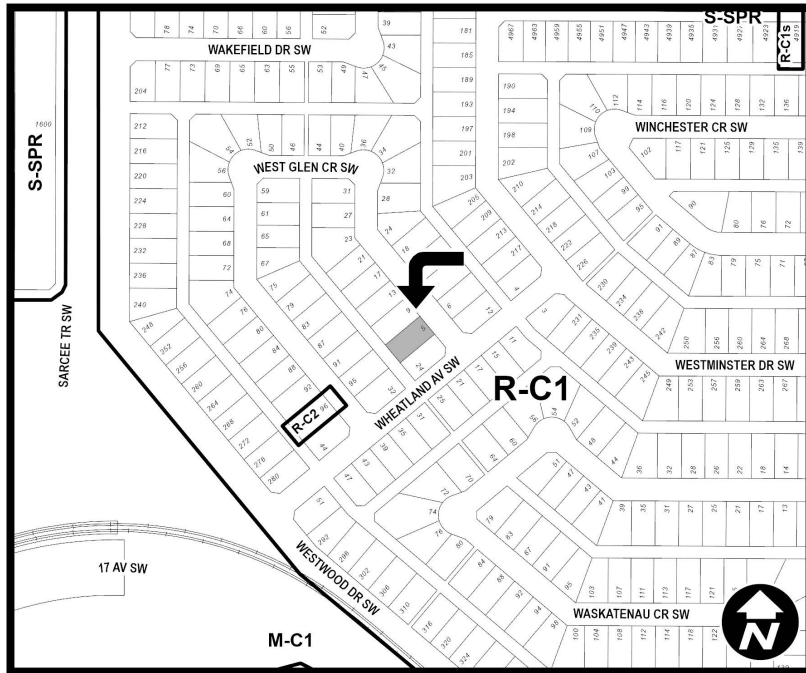




Appeal Board Received: August 18, 2021  
Submitted by: Development Authority



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SDAB2021-0052



July 13, 2021

NELSON, DAWNA  
Gdaknelson@gmail.com  
(403) 701-6760

Dear Sir/Madam:

**RE: Notification of Decision: DP2021-1960**

**Subject: New: Accessory Residential Building (garage), Backyard Suite (above garage)**

**Project:**

**Address: 5 WEST GLEN CR SW**

This is your notification of decision by the Development Authority to approve the above noted application on July 5, 2021.

Read all of the Permanent Conditions of approval carefully as they form part of the approval decision. Advisory Comments, if applicable, are also attached and are intended to be of assistance in obtaining additional permits and supplementary information for the successful completion of your development.

Development approved by this permit must commence by July 5, 2023 or the development permit shall cease to be valid.

The decision will be advertised beginning July 8, 2021 at [www.calgary.ca/publicnotices](http://www.calgary.ca/publicnotices), which is the start of the mandatory 21-day appeal period. This appeal period will conclude at midnight July 29, 2021. Release of the permit will occur within 2-4 business days following the conclusion of the appeal period and upon receipt of all Prior to Release requirements.

An appeal along with reasons must be submitted, together with payment of \$200.00 fee, to the Subdivision and Development Appeal Board (4th floor, 1212 31 Avenue N.E., Calgary, AB T2E 7S8) within 21 days of receipt of this letter. An appeal may also be filed online at <http://www.calgarysdab.ca>. To obtain an appeal form, for information on appeal submission options or the appeal process, please call (403) 268-5312.

Please note that this letter is to advise you of the conditions of approval, the mandatory advertising appeal period and the timeframe in which you may appeal this decision. If no appeals have been filed during the appeal period, your Development Permit will be released. Should you require clarification of the above or further information, please contact me at (403) 333-5548 or by email at [Anthony.Pirri@calgary.ca](mailto:Anthony.Pirri@calgary.ca) and assist me by quoting the Development Permit number.

Sincerely,

Anthony Pirri  
Senior Planning Technician  
Planning and Development  
Attachment(s)



**DEVELOPMENT PERMIT  
LAND USE BYLAW NO 1P2007**

**DP2021-1960**

This permit relates to land in the City of Calgary municipally described as:

**5 WEST GLEN CR SW**

Community: **Westgate**

L.U.D.: **R-C1**

and legally described as:

**4994HN;3;19**

and permits the land to be used for the following development:

**New: Accessory Residential Building (garage), Backyard Suite (above garage)**

The present owner and any subsequent owner of the above described land must comply with any attached conditions.

The development has been approved subject to any attached conditions and to full compliance with the approved plans bearing the stamp of approval and the above development permit number.

Decision By: **Development Authority**

Date of Decision: **July 5, 2021**

Development Authority **Marie K Rupert**

File Manager: **Anthony Pirri**

Release Date: \_\_\_\_\_

**This permit will not be valid if development has not commenced by: July 05, 2023**

This Development Permit was advertised on: **July 08, 2021**

**This is NOT a Building Permit**

In addition to your Development Permit, a Building Permit may be required, prior to any work commencing. further information, you should contact the City of Calgary, Planning, Development & Assessment - Building Regulations Division.

**WARNING**

**This permit does not relieve the owner or the owner's authorized agent from full compliance with the requirements of any federal, provincial or other municipal legislation, or the terms and conditions of any easement, covenant, building scheme or agreement affecting the building or land.**

Applicant: **NELSON, DAWNA**

Address:

City:

Phone: **4037016760**

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**Complete Address and Legal Description listing for Development Permit DP2021-1960**

<b>Address Type</b>	<b>Address</b>	<b>Legal Description</b>
Building	5 WEST GLEN CR SW	
Parcel	5 WEST GLEN CR SW	<b>4994HN;3;19</b>



## Conditions of Approval – Development Permit

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<b>Application Number:</b>	<b>DP2021-1960</b>
<b>Application Description:</b>	New: Accessory Residential Building (garage), Backyard Suite (above garage)
<b>Land Use District:</b>	Residential - Contextual One Dwelling
<b>Use Type:</b>	Discretionary
<b>Site Address:</b>	5 WEST GLEN CR SW
<b>Community:</b>	WESTGATE
<b>Applicant:</b>	NELSON, DAWNA
<b>Senior Planning Technician:</b>	ANTHONY PIRRI - (403) 333-5548 - <a href="mailto:Anthony.Pirri@calgary.ca">Anthony.Pirri@calgary.ca</a>

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## Permanent Conditions

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The following permanent conditions shall apply:

1. The development shall be completed in its entirety, in accordance with the approved plans and conditions. The stamped and signed plans are a legal document.
2. No changes to the approved plans shall take place unless authorized by the Development Authority. If changes to the development occur or are proposed, a new development permit or revised plan application may be required.
3. A development completion permit must be issued for the development before the use is commenced or the development occupied. A development completion permit is independent from the requirements of City of Calgary Building Regulations inspections and permission for occupancy. Call Development Inspection Services at 403-268-5311 to request a site inspection for a development completion permit.
4. Only one (1) Secondary Suite or Backyard Suite can be located on the parcel.
5. There must be at least one (1) motor vehicle parking stall provided on the parcel for the exclusive use of the Secondary Suite. The motor vehicle parking stalls for the Secondary Suite and the main Dwelling Unit must not interfere with each other.
6. Private outdoor amenity space must be provided on the parcel for the exclusive use of the Secondary Suite. The amenity space must be a minimum of 7.5 square metres, with no dimension less than 1.5 metres. Direct access from the Secondary

Suite to the private outdoor amenity area is required.

## Advisory Comments

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The following advisory comments are provided as a courtesy to the Applicant and registered property owner. The comments represent some, but not all of the requirements contained in the Land Use Bylaw that must be complied with as part of this approval.

7. The advisory comments will be finalized at the time of Development Authority decision.
8. The Applicant may appeal the decision of the Development Authority, including any of the conditions of the development permit. If you decide to file an appeal, please refer to the notification of decision letter for the appropriate appeal body and appeal process.
9. Building Regulations advises of the following:
  1. Division B, 9.10.15.4. Glazed Openings in Exposing Building Face
    - 1) Except as provided in Sentence (6), the maximum aggregate area of glazed openings in an exposing building face shall
      - a) conform to Table 9.10.15.4.,
      - b) conform to Subsection 3.2.3., or
      - c) where the limiting distance is not less than 1.2 m, be equal to or less than the limiting distance squared.
    - 6) The limits on the area of glazed openings shall not apply to the exposing building face of a dwelling unit facing a detached garage or accessory building, where
      - a) the detached garage or accessory building serves only one dwelling unit or a house with a secondary suite,
      - b) the detached garage or accessory building is located on the same property as that dwelling unit, and
      - c) the dwelling unit served by the detached garage or accessory building is the only major occupancy on the property.

As there are 2 dwellings being proposed on the site, existing house and proposed suite, the glazed openings on the rear of the existing house and rear of the proposed garage with suite shall conform to the maximum percentages permitted under 9.10.15.4. and calculated using an imaginary line of limiting distance located between the 2 buildings. Provide updated drawings for building permit to include exposing building face calculations showing glazing percentages for the rear elevation of the existing dwelling unit and indicate the location of an imaginary line of limiting distance on the site plan between the two buildings.

2. Division B, 9.10.15.4. Glazed Openings in Exposing Building Face
  - 1) Except as provided in Sentence (6), the maximum aggregate area of glazed openings in an exposing building face shall

Track your application on-line with VISTA. Go to: [www.calgary.ca/vista](http://www.calgary.ca/vista) and enter your JOB ACCESS CODE (JAC) from the application form or call Planning Services Counter at (403) 268-5311.

- a) conform to Table 9.10.15.4.,
- b) conform to Subsection 3.2.3., or
- c) where the limiting distance is not less than 1.2 m, be equal to or less than the limiting distance squared.

Provide glazed opening calculations for all exposing building faces of the proposed garage with suite.

**Advisory Notes:**

1. Backyard Suites are classified as a two storey accessory building not exceeding 600m<sup>2</sup> in area, having a residential suite, Group C, over a storage garage, Group F, Division 3. A fire separation with a minimum 1 hour fire resistance rating and minimum STC or ASTC rating is required for assemblies separating the occupancies. Please refer to the Backyard Suite Advisory:

<http://publicaccess.calgary.ca/ldm01/livelink.exe?func=ccpa.general&msgID=UTTTTrycckK&msgAction=Download>

2. Backyard Suites are required to comply with the requirements of the New Home Buyer Protection Act. For building permit submission provide proof of new home warranty registration and constructor's General Contractor License through the Province of Alberta's Residential Protection Program, or confirmation of exemption from these requirements. Visit <https://www.alberta.ca/new-home-warranty-overview.aspx> for more information, and to apply or request exemption.

For more information, contact [Carla.Weedon@Calgary.ca](mailto:Carla.Weedon@Calgary.ca)

- 10. The approval of this development permit does not limit in any way the application of any federal, provincial, or municipal law, policy, code, regulation, bylaw, and/or guideline, nor does it constitute any permit or permission under any federal, provincial, or municipal law, policy, code, regulation, bylaw, and/or guideline.
- 11. In addition to this development permit, building permits may also be required. Building permit applications may be submitted upon approval of the associated development permit. Contact Building Regulations at 403-268-5311 for further information.
- 12. All plumbing services including sanitary, storm and water must be verified onsite by the owner and/or builder to ensure the size and location is compliant with the National Plumbing Code of Canada for the number of fixtures being installed. The waterline must be of the size that is indicated on the grade slip, but in no case smaller than 1 in size.
- 13. Street parking does not contribute to the amount of parking required for a use, as per Land Use Bylaw 1P2007.











# Site Contamination Statement

Application # \_\_\_\_\_  
for office use only

Site Address: \_\_\_\_\_

Legal Description: \_\_\_\_\_

The information provided in this disclosure statement will assist the Development, Land Use and Subdivision Authorities in processing planning applications. The Authorities rely on the information provided in this statement to assist in determining the potential for site contamination, which may have been caused by current or historic activities.

You are responsible for the accuracy of the information provided in this statement. The questions must be answered to the best of your knowledge based upon diligent inquiry and the thorough inspection and review of all documents and other information pertaining to the subject property. **Please be aware that further site assessments may be required as part of the review of your application.**

1. Are you aware of any environmental investigations (audits, assessments, tests, surveys or studies) for this site?

☐ Yes ☐ No

If yes, please provide copy(s).

2. Are you aware of any environmental requirements associated with any previous planning applications on this site? (i.e. development permit, land use redesign or subdivision)

☐ Yes ☐ No

If yes please provide a brief description and the associated development application number(s):

3. Has there been site remediation or a request for such on the site?

☐ Yes ☐ No

If yes, please provide a brief description:

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4. Are you aware of any regulatory actions, past or current, which have been applied to this site?

☐ Yes ☐ No

Examples include (but are not limited to):

- Environmental Protection Orders
- Reclamation Orders or Certificates
- Control / Stop Orders, fines, tickets or prosecutions
- Violations of environmental statutes, regulations and bylaws
- Administrative penalties and warning letters

If yes, please describe and provide copies of relevant documents:

5. Have any permits been issued or are you currently operating under a license or approval issued by federal or provincial authorities or the Calgary Fire Department for activities which may impact the property? (e.g. certificates of approval, storage tank regulations, plant operating permits)

If yes, please describe:

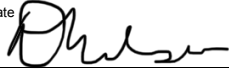
6. Has there been contact with Alberta Environment or Calgary Regional Health Authority regarding possible contamination on the site?

If yes, please provide a brief description:

**NOTE:** This form is to be signed by the titled owner(s) of the property or their authorized agents or consultants.

☐ I, **[Redacted]**, authorized agent, ☐ authorized consultant, state that, to the best of my knowledge, the information provided in this statement is accurate, complete and is based on diligent inquiry and thorough inspection and review of all the documents and other information reasonably available pertaining to the subject property. I am not aware of any other information that may indicate that the subject property is potentially contaminated.

Date



Applicant Signature

Applicant Name (Please Print)

Company Name (Please Print)

**FOIP DISCLAIMER:** The personal information on this form is being collected under the authority of The Freedom of Information and Protection of Privacy (FOIP) Act, Section 33(c). It will be used to provide operating programs, account services and to process payments received for said services. It may also be used to conduct ongoing evaluations of services received from Planning, Development & Assessment. Please send inquiries by mail to the FOIP Program Administrator, Planning, Development & Assessment, PO Box 2100, Station M, Calgary, AB T2P 2M5 or contact us by phone at 311.



## Public Tree Disclosure Statement

The City of Calgary Street Bylaw (20M88) and the Tree Protection Bylaw (23M2002) protect trees growing on City (public) land. An approved Tree Protection Plan is required when construction activities occur within 6m of a public tree. More information regarding protecting trees during construction and development is found here. Public trees are required to be shown on plans submitted for this application.

- 
- |   |           |
|---|-----------|
| 1. Are there public trees on the City lands within six meters of and/or overhanging the development site? | Yes    No |
|---|-----------|

**If you answered yes, ensure all trees identified are shown on the submitted plans.**

Note: if you are not sure how to determine which trees are yours and which are public, you can:

- a. Use the [City's tree map](#) (may not be up to date for your property)
- b. Contact 3-1-1 to put in a "development tree inquiry" to get confirmation from an Urban Forester
- c. Send inquiries to [tree.protection@calgary.ca](mailto:tree.protection@calgary.ca)

2. Who will be submitting the Tree Protection Plan for this development?

Applicant    Owner    Builder    Other:

If Other:    Name: \_\_\_\_\_ Phone: \_\_\_\_\_  
 Email: \_\_\_\_\_

The Tree Protection Plan must be submitted directly to Urban Forestry at [tree.protection@Calgary.ca](mailto:tree.protection@Calgary.ca) following the [Tree Protection Plan Guidelines](#).

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## Abandoned Well Declaration

Application # \_\_\_\_\_  
for office use only

Site Address: \_\_\_\_\_

Legal Description: \_\_\_\_\_

The *Municipal Government Act's Subdivision and Development Regulations (Alberta Regulation 160/2012)* requires developers to identify abandoned oil and gas wells and, where present, to comply with setback requirements as identified in the Energy Resources Conservation Board (ERCB) [Directive 079: Surface Development in Proximity to Abandoned Wells](#).

You are responsible for the accuracy of the information provided in this statement. The questions must be answered to the best of your knowledge based upon diligent inquiries and a thorough inspection and review.

1. Provide a map of the subject parcel showing the presence or absence of abandoned wells.

- [User Guide to Finding Abandoned Wells on GeoDiscover Alberta's Map Viewer](#)
- [Abandoned Well Locations on GeoDiscover Alberta's Map Viewer](#)

**NOTE:** The map must show the actual well location, as identified in the field, including the surface coordinates (available on the Abandoned Well Map Viewer or by contacting the ERCB Customer Contact Centre at 1-855-297-8311) and the 5 metre setback established in [ERCB Directive 079](#) in relation to existing or proposed building sites.

2. Are there abandoned Oil/Gas wells located within 5 m of the site? ○ Yes ○ No  
**If you answered 'yes', please answer question 3 and include the well location(s) on the site plan.**
3. Have you contacted the licensee of the well(s) to confirm the exact location? ○ Yes ○ No  
**If you answered 'yes', you must have written confirmation included with your application.**

Licensee Company Name \_\_\_\_\_ Licensee Contact \_\_\_\_\_

**NOTE:** Where a well is identified, the Development Authority must refer a copy of the application to the Licensee(s) of Record. The referral will include the applicant's contact information.

4. Who is submitting the Abandoned Well Declaration for this development?

☐ Applicant ☐ Owner ☐ Builder ☐ Other \_\_\_\_\_

Company Name \_\_\_\_\_ Contact Person \_\_\_\_\_

Address \_\_\_\_\_

Phone \_\_\_\_\_ Cell Phone \_\_\_\_\_ Email \_\_\_\_\_

## 54

5. Will the development result in construction activity within the setback area?

☐ Yes ☐ No

**If you answered 'yes':**

- Provide a statement confirming that the abandoned wells will be temporarily marked with on-site identification to prevent contact during construction; and
- Describe what measures will be taken to prevent contact during construction.

**NOTE:** This form is to be signed by the titled owner(s) of the property or their authorized agents or consultants.

***I, the ☐ owner, ☐ authorized agent, ☐ authorized consultant, state that, to the best of my knowledge, the information provided in this statement is accurate, complete and is based on diligent inquiry and thorough inspection and review of all the documents and other information reasonably available pertaining to the subject property.***

\_\_\_\_\_  
Date

\_\_\_\_\_  
Applicant Signature

\_\_\_\_\_  
Applicant Name (Please Print)

\_\_\_\_\_  
Company Name (Please Print)

**FOIP DISCLAIMER:** The personal information on this form is being collected under the authority of The Freedom of Information and Protection of Privacy (FOIP) Act, Section 33(c). It will be used to provide operating programs, account services and to process payments received for said services. It may also be used to conduct ongoing evaluations of services received from Planning & Development. Please send inquiries by mail to the FOIP Program Administrator, Planning & Development, PO Box 2100, Station M, Calgary, AB T2P 2M5 or contact us by phone at 311.

**District Title:** Residential - Contextual One Dwelling (R-C1) (R-C1s) ▼

The information contained herein is intended for information purposes only. Please refer to the Calgary Land Use Bylaw 1P2007 for a complete list of rules and regulations. This form has no legal status and cannot be used as an official interpretation of the Land Use Bylaw 1P2007.

Date:	June 15, 2021
Date Received:	June 7, 2021
F/M:	Anthony Pirri
BLC BY:	Christine Loxton
Review Required:	
<div>COMPLETE</div>	
Markups Completed Electronically:	
<div>Yes - Refer to Livelink</div>	

D.P. #	2021-1960
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For Internal Distribution Only

Modifier(s):	F.A.R		Height		Density		ALL MODIFIER(S) ARE COMPULSORY (Cannot be relaxed)
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<b>Project Description(s):</b>	New: Accessory Residential Building (garage), Backyard Suite (above garage)
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<b>Floodway/Floodfringe/Overland Flow</b> <div>DOES NOT APPLY ▼</div> <p><b><i>*If applicable Complete Flood Sheet*</i></b></p>	<b>Airport Vicinity Protection Area (AVPA)</b> <div>DOES NOT APPLY ▼</div>
--	---

Right-of-Way Setback(S)						
Rd / St / Av	N/A	Required	N/A	Provided	N/A	
Rd / St / Av	N/A	Required	N/A	Provided	N/A	
Rd / St / Av	N/A	Required	N/A	Provided	N/A	

<b>Main Floor Elevation(S):</b>	<b>Roof Peak Elevation(s):</b>
N/A	

\*LDR: For Additions or alterations to existing See Section 358 For Dwellings Deemed Conforming\*

[illegible]

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Residential – Contextual One Dwelling							D.P. #		2021-1960		
Rule	Requirements					Evaluation					
				Notes		Provided/Variance					
Secondary Suites	If applicable please refer to Secondary Suites Form						See Attached		N/A	N/I	
153.1(a)(vi) Backyard Suite	A Backyard Suite must be located on the same parcel as a Contextual Single Detached Dwelling or a Single Detached Dwelling.						C	N/C	N/A	N/I	
Accessory Building	If applicable please refer to Accessory Residential Building Form						See Attached		N/A	N/I	
393 Parcel Coverage	The max. parcel coverage is 45.0% of the area of a parcel, which must be reduced by 21.0 m <sup>2</sup> for each required motor vehicle parking stall that is <b>not</b> provided in a private garage.							%		%	
	45% X <div>581.73</div> Parcel Area minus <div></div> Required Stalls X 21m <sup>2</sup> = <div>261.78</div> Max. Coverage							35.81%		-9.19%	
	Parcel Coverage Totals							m <sup>2</sup>		m <sup>2</sup>	
	House	Proj. > 1.0m	Garage/BYS	Other	Total						
	133.77		74.53		208.30			208.30		-53.48	
341 Driveways	(1) A driveway must not have direct access to a major street unless:	(a) there is no practical alternative method of vehicular access to the parcel; and					C	N/C	N/A	N/I	
		(b) a turning space is provided on the parcel to allow all vehicles exiting to face the major street.					C	N/C	N/A	N/I	
		(2) A driveway connecting a street to a private garage must:	(a) be a min of 6.0 m in length along the intended direction of travel for vehicles measured from:	(i) the back of the public sidewalk to the door of the private garage; or				N/A			
	(ii) a curb where there is no public sidewalk to the door of a private garage, and					N/A					
	(b) contain a rectangular area measuring 6.0m in length and 3.0m in width.					C	N/C	N/A	N/I		
	(3) A driveway connecting a lane to a private garage must be a min of 0.60m in length along the intended direction of travel for vehicles, measured from the property line shared with the lane to the door of a private garage.				SW		2.30		1.70		
	(4) Parking Surface located in the actual front setback must be hard surfaced.						C	N/C	N/A	N/I	
	(5) That portion of a driveway including a motor vehicle parking stall within 6.0m of a public sidewalk, or a curb on a street where there is no public sidewalk, must not exceed a width of:	(a) 6.0 m where the parcel width is 9.0m or less; or				N/A					
		(b) 7.0m for parcel width > than 9.0m and < than 15.0m				N/A					
	(6) In the Developed Area, driveway accessing a street must not be constructed, altered or replaced except where:	(a) located on a laneless parcel; (b) located on a laned parcel and 50.0% or more parcels on same block face have an existing driveway accessing a street; or (c) legally existing driveway not being relocated or widened.					C	N/C	N/A	N/I	
							Existing Driveway No Changes				
	305 Parking	(c) requires a minimum of 1.0 motor vehicle parking stalls per Dwelling Unit (which includes secondary suites if applicable)						0		-1	
		If use is other refer to Parking/Loading/Bicycle Form						See Attached		N/A	N/I
122 Standards for Motor Vehicle Parking Stalls	(3) The minimum depth of a motor vehicle parking stall is 5.9m where it is required for:						C	N/C	N/A	N/I	
	(a) a Contextual Single Detached Dwelling, Duplex Dwelling, Secondary Suite, Semi-detached Dwelling or Single Detached Dwelling						C	N/C	N/A	N/I	
	(4) The minimum width of a motor vehicle parking stall required for a Dwelling Unit is:										
	(a) 3.0m where both sides of a stall about a physical barrier;										
	(b) 2.85m where one side of a stall abuts a physical barrier; and						C	N/C	N/A	N/I	
	(c) 2.5m in all other cases.										
	(15) Motor vehicle parking stalls for a Backyard Suite, Contextual Semi-detached Dwelling, Contextual Single Detached Dwelling, Duplex Dwelling, Secondary Suite, Semi-detached Dwelling and Single Detached Dwelling must be:						C	N/C	N/A	N/I	
(a) hard surfaced; and											
(b) located wholly on the subject parcel.											

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Accessory Residential Building							D.P. #	2021-1960			
Rule	Requirements						Evaluation				
					Notes		Provided/Variance				
345 Accessory Residential Building	(1) The min. building setback for an Accessory Residential Building is::	(a) 1.2m from a side or rear property line shared with a street; or						N/A			
		(b) 0.6m from a side or rear property line in all other cases.		SW		2.30	1.70				
				NW		1.20	0.60				
	NE			7.63	7.03						
	(2) The min. building setback for an Accessory Residential Building that does not share a side or rear property line with a street may be reduced to 0.0m when:	(a) the Accessory Residential Building is less than 10.0m <sup>2</sup>				C	N/C	N/A	N/I		
						C	N/C	N/A	N/I		
		(c) the owner of the adjacent parcel grants a 1.5m private maintenance easement that must:	(i) be registered against the title of the parcel proposed for development and the title of the adjacent parcel; and				C	N/C	N/A	N/I	
			(ii) include a 0.60m eave and footing encroachment easement.				C	N/C	N/A	N/I	
		(3) An Accessory Residential Building must not be located in the actual front setback area.						C	N/C	N/A	N/I
		(4) A private garage on laneless parcel may be located in required 3.0m side setback, except along street side of a corner parcel.						C	N/C	N/A	N/I
	(5) The min. distance between any façade of an Accessory Residential Building 10.0m <sup>2</sup> or more and a main residential building or a building containing a Secondary Suite is 1.0 m.						C	N/C	N/A	N/I	
	(6) The height of an Accessory Residential Building must not exceed:	(a) 4.6m, measured from the finished floor of the building;				2.95		-1.65			
						2.89		-0.11			
		(c) one storey, which may include an attic space that:		(c ) one storey,		C	N/C	N/A	N/I		
				(i) is accessed by a removable ladder;		C	N/C	N/A	N/I		
						(ii) does not have windows;		C	N/C	N/A	N/I
				(iv) has a max. height of 1.5m from the attic floor to the underside of any rafter.				N/A			
(1) The finished floor of an Accessory Residential Building, other than a private garage, must not exceed 0.6m above grade.					C	N/C	N/A	N/I			
					C	N/C	N/A	N/I			
					C	N/C	N/A	N/I			
	(4) The area of a parcel covered by all Accessory Residential Buildings located on a parcel:	(a) must not exceed the less of:	(i) the building coverage of the main residential buildings; or		C	N/C	N/A	N/I			
			(ii) 75.0m <sup>2</sup> for each Dwelling Unit located on the parcel; and		66.79		-8.21				

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Secondary Suite										D.P. #							
Rule	Requirements							Evaluation									
						Notes		Provided/Variance									
<b><i>Note: Remember to check any applicable district rules</i></b>																	
352 Backyard Suite	(1) For a Backyard Suite, the minimum building setback from a rear property line is:		(a) 1.5m for any portion of the building used as a Backyard Suite; and			SW		2.30		0.80							
			(b) 0.6m for any portion of the building used as a private garage.					2.30		1.70							
	(2) Unless otherwise specified in the district, for a Backyard Suite, the minimum building setback from a side property line is 1.2m for any portion of the building used as a Backyard Suite.					NW		1.20		0.00							
						SE		7.68		6.48							
										N/A							
	(3.1) The minimum façade separation in subsection (3) may be reduced to 1.5m where amenity space is provided at grade that: (a) is adjacent to the main residential building and the Backyard Suite; and (b) has no dimension less than 5.0m.							4.52		3.02							
	(3.2)(a) Where portions of a Backyard Suite meet the requirements of subsection (b) these portions may project:		(i) into a setback area from a property line shared with a street or a lane to a minimum building setback of 0.6m from the shared property line; and					N/A									
			(ii) 0.6m into a minimum separation area required in subsection (3) or the amenity space required in subsection (3.1);					N/A									
	(3.2)(b) Projections in subsection (a) must:		(i) not exceed 40% of the length of the façade on each storey for the total combined length of all projections;					%		Length		%		Length			
						1st st		X 40% =				N/A					
						2nd st		X 40% =									
			__st		X 40% =												
			(ii) each contain a window; and							C		N/C		N/A		N/I	
			(iii) each have a maximum length of 3.1m							N/A							
(4) Unless otherwise referenced in subsection (4.1), the maximum building height for a Backyard Suite is 7.5m.							Complies		#VALUE!								

Page 5	(4.1) The maximum building height for a Backyard Suite is:	(a) 5.0m measured from grade at a side property line shared with a parcel designated with a low density residential district;		(c) increases at a 45 degree angle to a maximum of 7.5m at a proportional distance from the shared property line.	NW		C	N/C	N/A	N/I
		(b) 3.0m measured from grade at a rear property line shared with a parcel designated with a low density residential district; and								
	(5) The maximum floor area of a Backyard Suite, excluding any area covered by stairways and internal landings not exceeding 2.5m², is 75m².						74.13		-0.87	
	(7) A Backyard Suite must have a private amenity space that:		(a) is located outdoors; and				C	N/C	N/A	N/I
			(b) has a minimum area of 7.5m2 with no dimension less than 1.5m.				Dimension (m)			
							2.43		0.93	
							Area (m²)			
							7.53		0.03	
	(8) A Backyard Suite may include a balcony where the balcony:	(a) projects from a façade that faces a property line shared with a lane or a street; or				C	N/C	N/A	N/I	
		(b) includes a privacy wall that screens the balcony from a property line shared with a parcel designated with low density residential district where:	(i) the balcony is setback less than 4.0m from the shared property line; and				C	N/C	N/A	N/I
			(ii) the privacy wall is a minimum of 2.0m in height and a maximum of 3.0m in height.							
	(9) A balcony attached to a Backyard Suite may project into a required setback area from a property line shared with a street or a lane to a minimum setback of 0.6m from the property line.						N/A			
	354 Accessory Suite - Density	(1) Unless otherwise referenced in subsection (4), there must not be more than one Backyard Suite located on a parcel.					C	N/C	N/A	N/I
(1.1) There must not be more than one Secondary Suite contained within a Dwelling Unit.					C	N/C	N/A	N/I		
(2) Unless otherwise referenced in subsection (4), a Secondary Suite and a Backyard Suite must not be located on the same parcel.					C	N/C	N/A	N/I		
(3) A Secondary Suite or Backyard Suite must not be separated from the main residential use on a parcel by the registration of a condominium or subdivision plan.					C	N/C	N/A	N/I		
(4) In the R-CG District, one Backyard Suite or one Secondary Suite may be located on a bare land unit containing a Dwelling Unit.					C	N/C	N/A	N/I		
546 Motor Vehicle Parking Stalls Applies to R-CG Only	(2) The minimum number of motor vehicle parking stalls for a Secondary Suite is reduced to 0.0 where:	(a) the floor area of a Secondary Suite is 45.0m² or less.				C	N/C	N/A	N/I	
		(b) the parcel is located within 600.0m of an existing or approved capital funded LRT platform or within 150.0m of frequent bus service; and				C	N/C	N/A	N/I	
						C	N/C	N/A	N/I	
	(c) space is provided in a building for the occupant of the Secondary Suite for storage of mobility alternatives such as bicycles or strollers that:	(i) is accessed directly from the exterior; and				C	N/C	N/A	N/I	
		(ii) has an area of 2.5m² or more for every Secondary Suite that is not provided with a motor vehicle parking stall.				C	N/C	N/A	N/I	
		NOTE: Parcel coverage excludes the building coverage area of the mobility alternative storage space.								
153.1 Backyard Suite	(c) requires a minimum of 1.0 motor vehicle parking stall.					1		0		
122 Standards for Motor Vehicle Parking Stalls	(3) The minimum depth of a motor vehicle parking stall is 5.9m where it is required for:					C	N/C	N/A	N/I	
	(a) a Contextual Single Detached Dwelling, Duplex Dwelling, Secondary Suite, Semi-detached Dwelling or Single Detached Dwelling									
	(4) The minimum width of a motor vehicle parking stall required for a Dwelling Unit is:					C	N/C	N/A	N/I	
	(a) 3.0m where both sides of a stall abut a physical barrier;									
	(b) 2.85m where one side of a stall abuts a physical barrier; and									
	(c) 2.5m in all other cases.									
	(15) Motor vehicle parking stalls for a Backyard Suite, Contextual Semi-detached Dwelling, Contextual Single Detached Dwelling, Duplex Dwelling, Secondary Suite, Semi-detached Dwelling and Single Detached Dwelling must be:					C	N/C	N/A	N/I	
(a) hard surfaced; and										
(b) located wholly on the subject parcel										

Page 6	(a) located wholly on the subject parcel.						
<b>539 Building Setback from Side Property Line Applies to R-CG Only</b>	(6) For a Backyard Suite the minimum building setback from a side property line may be reduced to zero metres where:	(a) the accessory residential building or Backyard Suite on the adjacent parcel has a setback of 0.1 metres or less at the shared side property line for any portion of the building that is recessed 0.6 metres or greater from the front façade or the rear facade of the building and is setback less than 0.6 metres from the side property line;		C	N/C	N/A	N/I
		(b) the building setback is not greater than 0.1 metres from the side property line for any portion of a building that is recessed 0.6 metres or greater from the front façade or the rear façade of the building and is setback less than 1.2 metres from the side property line;		C	N/C	N/A	N/I
		(c) the wall at the shared side property line is constructed of maintenance-free materials and there is no overhang of eaves onto an adjacent parcel; and		C	N/C	N/A	N/I
		(d) all roof drainage from the building is discharged through eavestroughs and downspouts onto the parcel on which the building is located.		C	N/C	N/A	N/I
<b>547.13 Building Height Applies to R-G Only</b>	(2) The maximum height of a Backyard Suite on a laned parcel is 10.0 metres.			C	N/C	N/A	N/I
<b>Additional Notes</b>							

FILE: DP2021-1960

DATE RECEIVED: June 7, 2021

Bylaw Discrepancies		
Regulation	Standard	Provided
305 Parking	(c) requires a minimum of 1.0 motor vehicle parking stalls per Dwelling Unit	Plans do not indicate a designated motor vehicle parking stall for the Single Detached Dwelling.  <i>It should be noted that the proposed garage can accommodate 2 motor vehicle parking stalls.</i>
352 Backyard Suite	(4.1) The maximum building height for a Backyard Suite is: (a) 5.0m measured from grade at a side property line shared with a parcel designated with a low-density residential district; (c) increases at a 45 degree angle to a maximum of 7.5m at a proportional distance from the shared property line.	Plans indicate a portion of the north elevation as being within the height chamfer.



May 14, 2021

NELSON, DAWNA

[Gdaknelson@gmail.com](mailto:Gdaknelson@gmail.com)  
(403) 701-6760

Dear Sir/Madam:

**RE: Detailed Review (DR)**

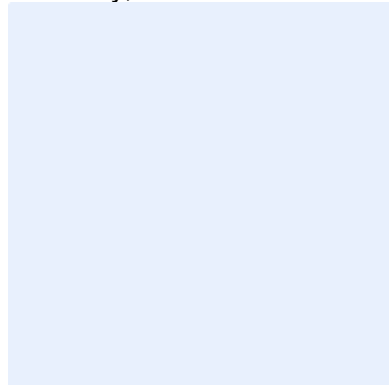
**Development Permit Number: DP2021-1960**

Based on the plans received, your application has been reviewed in order to determine compliance with the Land Use Bylaw and applicable City policies. Any variance from the Land Use Bylaw or City policies may require further discussion or revision prior to a decision being rendered.

A written response to the Prior to Decision issues in this DR is required from the Applicant by the end of the thirty (30) calendar day response due date. In the event that the response due date expires, the application may be inactivated subject to a fifteen (15) calendar day reactivation timeline. In the case of a non-responsive or incomplete application, the General Manager – Planning, Development and Assessment may cancel the application as per Section 41.1 of Land Use Bylaw 1P2007.

Should you have any questions or concerns, please contact me at (403) 333-5548 or by email at [Anthony.Pirri@calgary.ca](mailto:Anthony.Pirri@calgary.ca).

Sincerely,



Click or tap here to enter text.  
Click or tap here to enter text.



## Detailed Review 1 – Development Permit

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**Application Number:** DP2021-1960  
**Application Description:** New: Accessory Residential Building (garage), Backyard Suite (above garage)  
**Land Use District:** Residential - Contextual One Dwelling  
**Use Type:** Discretionary  
**Site Address:** 5 WEST GLEN CR SW  
**Community:** WESTGATE  
**Applicant:** NELSON, DAWNA  
**Date DR Sent:** May 14, 2021  
**Response Due Date:** June 14, 2021  
**Senior Planning Technician:** ANTHONY PIRRI - (403) 333-5548 - [Anthony.Pirri@calgary.ca](mailto:Anthony.Pirri@calgary.ca)

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## Comments on Relevant City Policies

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### Policy to Guide Discretion for Secondary Suites and Backyard Suites

#### C. Additional Policies for Backyard Suites

1. In addition to the previous policies, a Backyard Suite is subject to the following additional policies:

e. Window placement should allow light penetration into the suite while respecting the privacy of adjacent parcels. Off-setting, frosting, and placing windows to face the lane or street should be considered.

*Amend, side façade windows shall be obscured, provide notes on the elevation.*

### Backyard Suites How-to Guide

#### 1) Building placement

##### Design principles

- Consider the location of the adjacent yard space and buildings. The new backyard suite should be located to align with building and yard placement on neighbouring parcels. Where feasible, buildings should be located next to buildings and yards should be located next to yards. On a lot with a lane this principle will most often result in the new backyard suite being located next to the lane to match the location of neighbouring garages and parking pads.

## 2) Sunlight and Shadowing

- Locate the backyard suite to maximize sunlight access for neighbouring parcels. On north south blocks the backyard suite should be located closer to the shared property line on the south side of the lot so that the neighbouring parcel to the north has better access to the southern aspect sun angle.

## Bylaw Discrepancies

## Prior to Decision Requirements

1. Submit a complete set of the amended plans, by email in PDF format, to the Senior Planning Technician. The submitted plans must address the requirements listed in this document. Ensure that all plans affected by the revisions are amended accordingly.

Page 3

2. Submit a written response to the Detailed Review (DR) that provides a point by point explanation as to how each of the Prior to Decision issues were addressed and/or resolved. If Prior to Release items have been addressed in the amended plans, include a point by point explanation for these items as well.
3. Submit a letter from Enmax Corporation indicating that the following issues are resolved:
  - The roof of proposed secondary suite is too close to existing Overhead powerline along rear lane. Please see attached Table 9 for minimum clearance requirement.

Contact [EPC\\_Permits@enmax.com](mailto:EPC_Permits@enmax.com) (attn: Younglae Kim) or at (403) 472-8130 to resolve the issue(s).

4. Amended plans must address all concerns by the File Manager outlined in the Bylaw Discrepancies and Relevant City Policies if applicable.

## Prior to Release Requirements

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If this Development Permit is approved, the following requirements shall be met prior to the release of the permit. All requirements shall be resolved to the satisfaction of the Approving Authority:

5. The Prior to Release conditions will be finalized at the time of Development Authority decision.

## Permanent Conditions

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If this Development Permit is approved, the following permanent conditions shall apply:

6. The development shall be completed in its entirety, in accordance with the approved plans and conditions. The stamped and signed plans are a legal document.
7. No changes to the approved plans shall take place unless authorized by the Development Authority. If changes to the development occur or are proposed, a new development permit or revised plan application may be required.
8. A development completion permit must be issued for the development before the use is commenced or the development occupied. A development completion permit is independent from the requirements of City of Calgary Building Regulations inspections and permission for occupancy. Call Development Inspection Services at 403-268-5311 to request a site inspection for a development completion permit.

Track your application on-line with VISTA. Go to: [www.calgary.ca/vista](http://www.calgary.ca/vista) and enter your JOB ACCESS CODE (JAC) from the application form or call Planning Services Counter at (403) 268-5311.

9. Only one (1) Secondary Suite or Backyard Suite can be located on the parcel.
10. There must be at least one (1) motor vehicle parking stall provided on the parcel for the exclusive use of the Secondary Suite. The motor vehicle parking stalls for the Secondary Suite and the main Dwelling Unit must not interfere with each other.
11. Private outdoor amenity space must be provided on the parcel for the exclusive use of the Secondary Suite. The amenity space must be a minimum of 7.5 square metres, with no dimension less than 1.5 metres. Direct access from the Secondary Suite to the private outdoor amenity area is required.

## Advisory Comments

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The following advisory comments are provided as a courtesy to the Applicant and registered property owner. The comments represent some, but not all of the requirements contained in the Land Use Bylaw that must be complied with as part of this approval.

12. The advisory comments will be finalized at the time of Development Authority decision.
13. The Applicant may appeal the decision of the Development Authority, including any of the conditions of the development permit. If you decide to file an appeal, please refer to the notification of decision letter for the appropriate appeal body and appeal process.
14. Building Regulations advises of the following:
  1. Division B, 9.10.15.4. Glazed Openings in Exposing Building Face
    - 1) Except as provided in Sentence (6), the maximum aggregate area of glazed openings in an exposing building face shall
      - a) conform to Table 9.10.15.4.,
      - b) conform to Subsection 3.2.3., or
      - c) where the limiting distance is not less than 1.2 m, be equal to or less than the limiting distance squared.
  - 6) The limits on the area of glazed openings shall not apply to the exposing building face of a dwelling unit facing a detached garage or accessory building, where
    - a) the detached garage or accessory building serves only one dwelling unit or a house with a secondary suite,
    - b) the detached garage or accessory building is located on the same property as that dwelling unit, and
    - c) the dwelling unit served by the detached garage or accessory building is the only major occupancy on the property.

As there are 2 dwellings being proposed on the site, existing house and proposed suite, the glazed openings on the rear of the existing house and rear of the proposed garage with suite shall conform to the maximum percentages permitted under 9.10.15.4. and calculated using an imaginary line of limiting distance located between the 2 buildings. Provide updated drawings for building permit to include exposing

Track your application on-line with VISTA. Go to: [www.calgary.ca/vista](http://www.calgary.ca/vista) and enter your JOB ACCESS CODE (JAC) from the application form or call Planning Services Counter at (403) 268-5311.

building face calculations showing glazing percentages for the rear elevation of the existing dwelling unit and indicate the location of an imaginary line of limiting distance on the site plan between the two buildings.

2. Division B, 9.10.15.4. Glazed Openings in Exposing Building Face

- 1) Except as provided in Sentence (6), the maximum aggregate area of glazed openings in an exposing building face shall
  - a) conform to Table 9.10.15.4.,
  - b) conform to Subsection 3.2.3., or
  - c) where the limiting distance is not less than 1.2 m, be equal to or less than the limiting distance squared.

Provide glazed opening calculations for all exposing building faces of the proposed garage with suite.

Advisory Notes:

1. Backyard Suites are classified as a two storey accessory building not exceeding 600m<sup>2</sup> in area, having a residential suite, Group C, over a storage garage, Group F, Division 3. A fire separation with a minimum 1 hour fire resistance rating and minimum STC or ASTC rating is required for assemblies separating the occupancies. Please refer to the Backyard Suite Advisory:

<http://publicaccess.calgary.ca/ldm01/livelink.exe?func=ccpa.general&msgID=UTTTTrycckK&msgAction=Download>

2. Backyard Suites are required to comply with the requirements of the New Home Buyer Protection Act. For building permit submission provide proof of new home warranty registration and constructor's General Contractor License through the Province of Alberta's Residential Protection Program, or confirmation of exemption from these requirements. Visit <https://www.alberta.ca/new-home-warranty-overview.aspx> for more information, and to apply or request exemption.

For more information, contact [Carla.Weedon@Calgary.ca](mailto:Carla.Weedon@Calgary.ca)

15. The approval of this development permit does not limit in any way the application of any federal, provincial, or municipal law, policy, code, regulation, bylaw, and/or guideline, nor does it constitute any permit or permission under any federal, provincial, or municipal law, policy, code, regulation, bylaw, and/or guideline.
16. In addition to this development permit, building permits may also be required. Building permit applications may be submitted upon approval of the associated development permit. Contact Building Regulations at 403-268-5311 for further information.
17. All plumbing services including sanitary, storm and water must be verified onsite by the owner and/or builder to ensure the size and location is compliant with the National Plumbing Code of Canada for the number of fixtures being installed. The waterline must be of the size that is indicated on the grade slip, but in no case smaller than 1 in size.

18. Street parking does not contribute to the amount of parking required for a use, as per Land Use Bylaw 1P2007.



## DEVELOPMENT PERMIT APPLICATION CIRCULATION REPORT

Name: DAWNA NELSON  
 Building Address: 5 WEST GLEN CR SW  
 Development Permit Number: DP2021-1960  
 Development Description: New: Accessory Residential Building (garage),  
 Backyard Suite (above garage)

### IMPORTANT NOTICE

A preliminary review for compliance with the National Building Code – 2019 Alberta Edition has been completed based on the Development Permit Application Drawings. The following comments may affect the design concept of the building and shall be addressed prior to the application for a Building Permit.

A Building Permit shall be obtained from the Building Regulations Division before construction

Comments: **OK to proceed with Advisory**

#### **1. Division B, 9.10.15.4. Glazed Openings in Exposing Building Face**

- 1) Except as provided in Sentence (6), the maximum aggregate area of glazed openings in an *exposing building face* shall
- a) conform to Table 9.10.15.4.,
  - b) conform to Subsection 3.2.3., or
  - c) where the *limiting distance* is not less than 1.2 m, be equal to or less than the *limiting distance* squared.
- 6) The limits on the area of glazed openings shall not apply to the *exposing building face* of a *dwelling unit* facing a detached garage or accessory *building*, where
- a) the detached garage or accessory *building* serves only one *dwelling unit* or a house with a *secondary suite*,
  - b) the detached garage or accessory *building* is located on the same property as that *dwelling unit*, and
  - c) the *dwelling unit* served by the detached garage or accessory *building* is the only *major occupancy* on the property.

*As there are 2 dwellings being proposed on the site, existing house and proposed suite, the glazed openings on the rear of the existing house and rear of the proposed garage with suite shall conform to the maximum percentages permitted under 9.10.15.4. and calculated using an imaginary line of limiting distance located between the 2 buildings. Provide updated drawings for building permit to include exposing building face calculations showing glazing percentages for the rear elevation of the existing dwelling unit and indicate the location of an imaginary line of limiting distance on the site plan between the two buildings.*

#### **2. Division B, 9.10.15.4. Glazed Openings in Exposing Building Face**

- 1) Except as provided in Sentence (6), the maximum aggregate area of glazed openings in an *exposing building face* shall
- a) conform to Table 9.10.15.4.,
  - b) conform to Subsection 3.2.3., or
  - c) where the *limiting distance* is not less than 1.2 m, be equal to or less than the *limiting distance* squared.

*Provide glazed opening calculations for all exposing building faces of the proposed garage with suite.*

**SDAB2021-0052**

## Advisory Notes:

1. Backyard Suites are classified as a two storey accessory building not exceeding 600m<sup>2</sup> in area, having a residential suite, Group C, over a storage garage, Group F, Division 3. A fire separation with a minimum 1 hour fire resistance rating and minimum STC or ASTC rating is required for assemblies separating the occupancies. Please refer to the Backyard Suite Advisory: <http://publicaccess.calgary.ca/lldm01/livelink.exe?func=ccpa.general&msgID=UTTTTTrycccK&msgAction=Download>

2. Backyard Suites are required to comply with the requirements of the *New Home Buyer Protection Act*. For building permit submission provide proof of new home warranty registration and constructor's General Contractor License through the Province of Alberta's *Residential Protection Program*, or confirmation of exemption from these requirements. Visit <https://www.alberta.ca/new-home-warranty-overview.aspx> for more information, and to apply or request exemption.

**Carla Weedon**  
Safety Codes Officer | Building  
Calgary Building Services | Planning & Development  
E: carla.weedon@calgary.ca | P: 403.807.5129

*Please note that a full plans review has not been completed and further issues may arise upon full building permit application review.*



ENMAX Power Corporation  
141 – 50 Avenue SE  
Calgary, AB T2G 4S7  
Tel (403) 514-3000  
enmax.com

May 3, 2021

**File No: DP2021-1960**

Development Circulation (#8201)

Location: **5 West Glen Cr SW**

We would like to advise you that the proposed development does not meet “Alberta Electrical Utility Code” under the Alberta Safety Codes Act and/or ENMAX Power Corporation requirements.

We have identified the following conflict:

**The roof of proposed secondary suite is too close to existing Overhead powerline along rear lane. Please see attached Table 9 for minimum clearance requirement.**

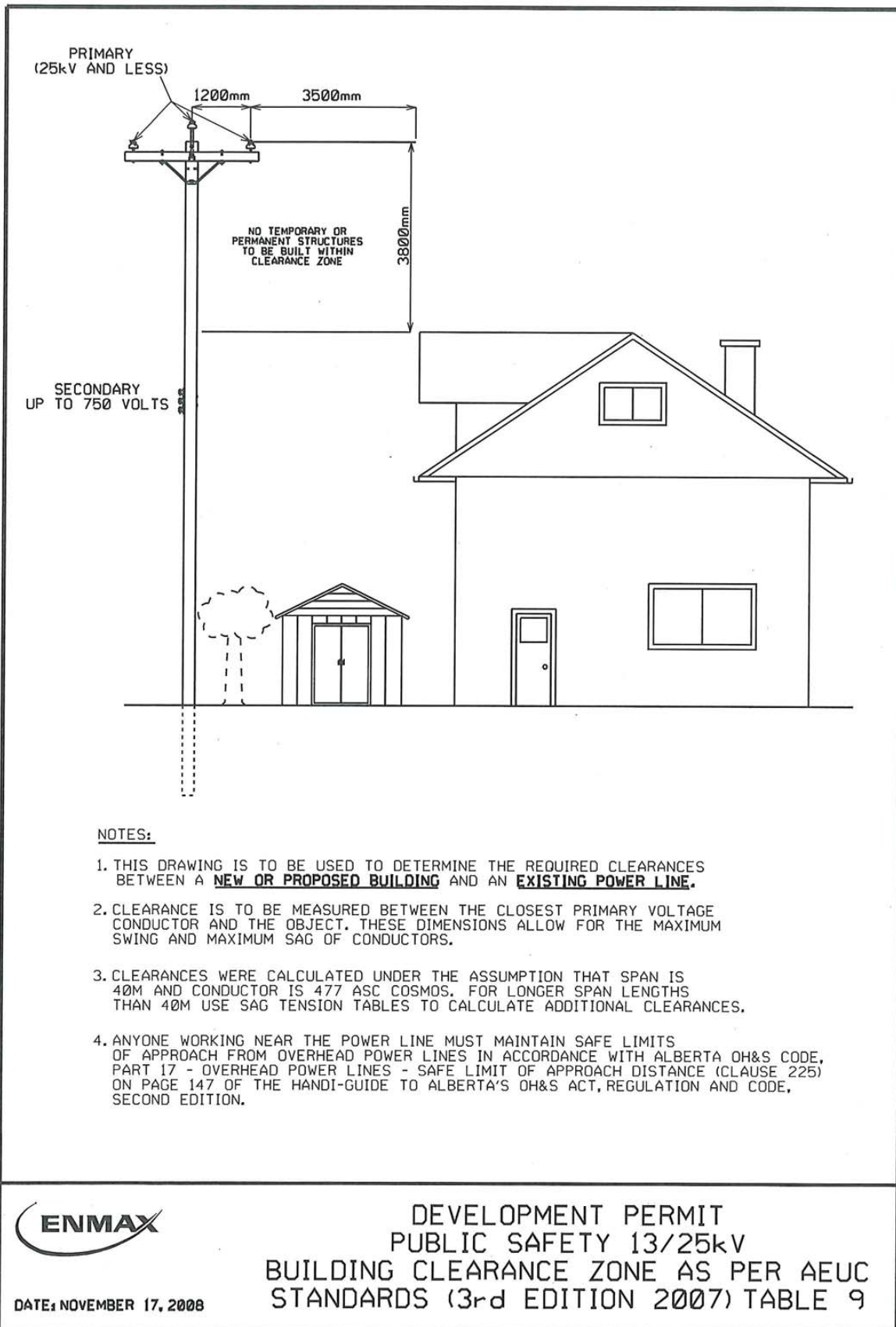
**Please contact [EPC\\_Permits@enmax.com](mailto:EPC_Permits@enmax.com) (attn: Younglae Kim) or at (403) 472-8130 to further discuss resolution options for this conflict.**

Until the above noted safety concerns are adequately addressed, this Development permit is not acceptable to ENMAX Power Corporation. Please contact the Project administrator at [EPC\\_Permits@enmax.com](mailto:EPC_Permits@enmax.com) if you have any further concerns, or require additional information regarding this Development Permit.

Sincerely,

A handwritten signature in black ink that reads "Kim Y".

Younglae Kim, P.Eng  
Permits and Circulations





ENMAX Power Corporation  
141 – 50 Avenue SE  
Calgary, AB T2G 4S7  
Tel (403) 514-3000  
enmax.com

June 11, 2021

**File No: DP2021-1960**

**Location: 5 West Glen Cr SW**

ENMAX Power Corporation (EPC) has reviewed the above permit application dated June 11, 2021 and based on the information provided and as of the above noted date the proposed development does not conflict with ENMAX facilities in respect of the requirements set forth in 10-002 Overhead System (Table 7) and 12-002 Underground Systems of the Alberta Electrical Utility Code (AEUC) under the *Safety Codes Act* (Alberta). This non-conflict letter does not reduce or limit responsibility to comply with all laws and regulations regarding utility facilities and all requirements under the *Occupational Health & Safety Act* (Alberta) (OHS) and the applicant shall observe all such laws and regulations when commencing any work related to the permit application. If a situation arises where there is a discrepancy between ENMAX required setbacks and the AEUC or the OHS, the stricter set of requirements shall govern.

Pursuant to Section 225(1) of Part 17 of the *Occupational Health and Safety Code* (Alberta) (Code) anyone working near overhead powerlines must maintain safe limits of approach as provided for in Schedule 4, Table 1 of the Code or Table 1 in the AEUC and anyone excavating must contact Alberta One-Call prior to performance of such excavation. As a condition of this no-conflict letter, and despite any existence of a permit, the applicant must contact EPC (Powerline Inspections (403) 514-3117) prior to the commencement of any construction where any workers or equipment will be within 7.0m of existing overhead EPC facilities. If EPC is contacted in accordance with the above, no construction work shall be commenced thereafter unless and until EPC determines the minimum safe limit of approach distance in relation to the overhead facilities present at the project site.

**CONFLICT RESOLVED:**

**Based on information updated drawings provided on June 7 by the applicant, ENMAX agrees to release the applicant from previously noted conflict(s).**

**\*\*NOTE:** This letter provided by ENMAX Power Corporation is intended for information purposes only and is not in any manner intended to nor shall be construed to derogate from applicant's obligations to follow any applicable law. The provision of this no-conflict letter is not a representation that work will meet any legislative or regulatory obligations. This no-conflict letter is provided as of the date first noted above – the applicant is still required to perform their own due diligence prior to any development activities and resolve any conflicts (new or existing) at the Developer's sole expense. ENMAX expressly disclaims any liability related to applicant's responsibility to comply with such laws and regulations and ENMAX's required setbacks.

If you require any additional information regarding this Development Permit, please contact the Project Administrator at [EPC\\_Permits@enmax.com](mailto:EPC_Permits@enmax.com).

Sincerely,

Younglae Kim, P.Eng  
Permits and Circulations

**SDAB2021-0052**

**From:** [Pat GUILLEMAUD](#)  
**To:** [Pirri, Anthony](#)  
**Subject:** [EXT] RE: DP2021-1960  
**Date:** Saturday, April 17, 2021 11:24:16 AM

---

Good morning Anthony

Further to the above noted application, there are many concerns from the adjoining residents.

- a) the location and height of the proposed development will significantly impact the next door neighbour.
- b) Will a shadowing study be requested?
- c) can the trees on-site be relocated?
- d) is it possible to move the proposed development to the east/left on the property?

As West Glen Crescent is "U" shaped, many residents do not use the front street, access only via the laneway. There is NO notice posting in the laneway, is it possible to notice post the laneway?

Appreciate your response to our concerns.

Regards

Pat Guillemaud, Director

Westgate Community Association



## Community Association Feedback Form

By providing feedback on the proposed development that is enclosed in this package, you are providing your community association's perspective as the "eyes of the community." This helps City staff better understand what is important to your community as we work with the applicant who has proposed this development, and it enables us to make an informed decision about whether to issue this development permit. In the course of this development permit evaluation, the planning department will review all relevant statutory plans including the Municipal Development Plan, Area Redevelopment or Area Structure Plans as well as the Land Use Bylaw.

File Number: DP 2021-1960  
 Name of Planning Representative/s who completed this form: PAT GUILLEMAUD  
 Community Association: WEST GATE COMMUNITY  
 Date returned: 3RD MAY 2021

I commit to the Planning System core values: innovation, collaboration, transparency, accountability, trust, and responsibility.

☒ Yes ☐ No

### Questions

Please provide your Community Association perspective and respond to the following questions:

1. What are the strengths and challenges of the proposed development?
2. Are there changes that could be made to the proposed development to make it more compatible or beneficial to the area?
3. Provide comments on the following. You may wish to consider height, privacy, parking, vehicle or pedestrian access and landscaping as you respond to these questions.
  - a. The use (if identified – not applicable for single-detached houses, semi-detached dwellings or duplexes)
  - b. The site design
  - c. The building design
4. Has the applicant discussed the development permit application with the Community Association? If yes, what information was provided?
5. Please provide any additional comments or concerns regarding the proposed development.

Take as much space as you need to answer the questions. If mailing, use separate paper.  
 Please number your responses to correspond to the question being asked

2<sup>nd</sup> May 2021

Circulation Control,  
Planning & Development,  
City of Calgary

Attention: Anthony Pirri

Re: DP 2021-1960

CORRECTED LETTER

The following concerns have been received by Westgate Community Association from the adjoining resident.

According to **Page 6** of “Back Yard Suites How To”: suites are to be constructed “Building to Building”. This proposal does not follow the guideline, as the property to the east/left of #5 has a large garage building, this proposal would be more appropriate beside that building.

As the proposed development will negatively impact the residents at #9 west/right side, they will lose significant sunlight and privacy of their property and yard. They have requested the applicant provide a shadowing study or move the building to the east/left side of the property. If this was done no neighbour will be negatively impacted.

Size of the development is 28 x 28, larger than the existing garage at #5, at 800 sq ft, the above garage suite is the size of a small house and many condominiums. The “Back Yard Suites How To” describes modest development, is 800 sq ft considered modest? The By Law infraction at the roof line is a concern.

We have been advised to date the applicant has not discussed the proposal with adjoining residents.

A concern from Westgate Community is the omitting of signage in the laneway, only one Notice was posted at the front of the property. Westglen Crescent is “U” shaped, many residents only access their property via the back laneway.

Please contact the undersigned if questions should arise.

For and on behalf of Westgate Community Association.

Pat Guillemaud, Chair

Civic Affairs Committee

Westgate Community Association.

Pat.g@westgatecommunity.ca



April 13, 2021

A new Development Permit application has been submitted at the below noted address(es), and we are sending this information for comments.

If you have questions or concerns related to this application, please contact the file manager directly at any point in the review process.

#### Application Details

**File Number:** DP2021-1960

**File Manager:** ANTHONY PIRRI

**Phone:** (403) 333-5548

**eMail:** Anthony.Pirri@calgary.ca

**Address:** 5 WEST GLEN CR SW

**Legal:** 4994HN;3;19

**Land Use Bylaw:** 1P2007

**L.U.D.R-C1**

**Community:** WESTGATE

**Ward:** 06

**Application Description:** New: Accessory Residential Building (garage), Backyard Suite (above garage)

Thank you for taking the time to respond. Your input is greatly appreciated

Please note that any written submissions made in response to the application will form part of the official record, and upon final decision of the application the correspondence will be available for public viewing.

**Please return your response to:** **Circulation Control**  
**Planning and Development**  
**P.O. Box 2100 Station M**  
**IMC 8201**  
**eMail:** [dp.circ@calgary.ca](mailto:dp.circ@calgary.ca)

This information is released and may only be used for the sole purpose of your organizations meeting to discuss the recommendations or comments to be made to the City of Calgary on this permit.

Please check the corresponding box below and forward any comments to the above sender.

☐

No Objection

☒

Comments Attached

**Name:** M. E. BURKE-GAFFNEY

**Date:** 29 APR 2021

**Organization:** \_\_\_\_\_

**Comments Are Due By:**

**May 03, 2021**

M. E. M. Burke-Gaffney  
9 West Glen Crescent S.W.,  
Calgary, AB T3C 2X5

Phone: ( [REDACTED] )

BY EMAIL – [dp.circ@calgary.ca](mailto:dp.circ@calgary.ca)/[anthony.pirri@calgary.ca](mailto:anthony.pirri@calgary.ca)

April 29, 2021

Circulation Control  
Planning and Development  
P.O. Box 2100, Station M  
IMC 8201

Attention: Anthony Pirri

Re: DP2021-1960

I have reviewed the information within the referenced development permit and am writing to oppose granting the permit as presented. In summary, the reasons are:

- (a) The structure, if built as proposed, has ignored the provisions outlined in the "How-to Guide" published by the City;
- (b) The structure abuts my property and if built as proposed, will reduce the light in my house substantially and in effect, take all the light out of the back yard;
- (c) The structure, if built as proposed, is permanent as a result will forever impair the value of my home.

To address the items above, here is some orientation: I live at #9 West Glen Crescent SW ("#9"), the property next door, north, to #5 West Glen Crescent S.W. ("#5") (the applicant); the property to the south of #5 is #24 Wheatland Avenue S.W. ("Wheatland").

In accordance with the "How-to Guide", page 6 "... buildings should be located next to buildings and yards should be located next to yards...". Located on the Wheatland property, arguably on the north end of that property, is a tall garage. It is completely within reason to require the applicant to move this proposed development to the south side of his lot --- building to building, yard to yard. Because of the way Westgate was initially developed, none of the garages are abutting, more often than not placed on the north side of each lot. With the development of the house at #5 and then this proposed structure, any development on #9 is thereby limited - why is that? Why does one tax payer trump another? If the City is unprepared to abide by it's own Guide, what is the point of publishing it? See photos attached

The suggested building is a 28x28 base garage as compared to an "average" sized garage at 24x24 which is the size of the existing garage; furthermore the proposed development contemplates adding another floor, some fifteen in height the back wall of which will abut my

property: 25feet in height and 4-5 feet closer. There are no proposed trees between the structure and the property line to soften the look. The proposed structure does not contemplate any sloped roofing nor does it consider any of the impacts on #9 against which it abuts. That this height may be compliant doesn't make it the best for our street or our community.

I have lived in this home well over 20 years; I volunteer in our community; I have and continue to champion the merits of this City. I remain hopeful for an amicable resolution. With the vision of the City, requiring the applicant to move the structure to the south side of his lot, a precedent is set for others to follow: everyone wins. Said more clearly, any development on #9 or any other property on West Glen Crescent for that matter as it relates to lane way living should follow: building to building, yard to yard. Building the structure as proposed will forever impair the value of #9 because it eliminate all of the light from the back yard and in the house -- it is inequitable.

Therefore, I am respectfully requesting that the applicant be required to move the proposed structure to the south side of #5. In the absence of this requirement, I am expecting, at a minimum, that the shadowing study be completed at the cost of the applicant. With the results in hand, the applicant be further required to consult with his neighbors to reach a mutually agreeable solution.

I can be reached either by my email address, home or cell phone to discuss further. Thank you.

Yours truly,



M. Elizabeth M. Burke-Gaffney, MLS, ICD.D

cc: Pat Guillemaud, Westgate Community CA, Director  
Jeff Davison, Ward 6 Councillor

**From:** [Elizabeth Burke-Gaffney](#)  
**To:** [Pirri, Anthony](#)  
**Subject:** [EXT] DP2021-1960  
**Date:** Wednesday, April 14, 2021 8:14:32 AM  
**Attachments:** [IMG\\_3188.jpg](#)

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Hello Anthony,

I live at 9 West Glen Crescent... luckily for a friend I have learned about this development permit. Why haven't I received notice from the City? 25 feet abutting my yard???? Which effectively steals all of the light out of my back yard. Come on! I live next door... it's not enough I have to look at this mere feet away from my kitchen window and back entry...?

What precisely is the process for lodging a request for them to move this structure to the other side of the lot, which would place this structure abutting another similar sized structure, so no one's living is impaired?

Not very impressed with you at the moment...

Elizabeth

M. Elizabeth Burke-Gaffney, MLS, ICD.D

E [REDACTED]  
[REDACTED]

**From:** [Elizabeth Burke-Gaffney](#)  
**To:** [Pirri, Anthony](#)  
**Subject:** RE: [EXT] DP2021-1960  
**Date:** Thursday, April 15, 2021 10:34:04 AM  
**Attachments:** [image001.png](#)

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Good morning Anthony,

Thank you for both your notes; I'm feeling badly that I ripped off this note. In any case, I spoke with one of the City Councillors to obtain some advice on the matter, not having ever had to face it before. I think I'm somewhat clear on the process. I will engage the neighbours, the proposing party and the community association. I'm not anti-development, I am, however, not prepared to go quietly surrendering the enjoyment of my back yard, at which I've worked so hard on account of a new entrant's plans which impair my enjoyment. I think, acting reasonably, the proposing party could move the project onto the south side of the lot (me being on the north side – taking some liberties on such directions given the properties are not due-east/due-north per se..) because it would be backing a tall garage which is situated on the north side of the lot facing Wheatland.

Anyhow, thank you for this; I will undertake the process as best as I can.

All the best,  
 Elizabeth

---

**From:** Pirri, Anthony [mailto:Anthony.Pirri@calgary.ca]  
**Sent:** April 15, 2021 10:23 AM  
**To:** Elizabeth Burke-Gaffney  
**Subject:** RE: [EXT] DP2021-1960

Hello Elizabeth,

You can direct your comments regarding the proposed development for Backyard Suite and Accessory Residential Building (garage) to me I will review and add them to the file. There is a large blue and white Notice Posting Sign on the front lawn of the property right now to notify the residence in the area of the proposal, this is how the City notifies residence. The email sent just prior give you some info to follow the progress of the file and appeal the decision of the City if the application were to be approved.

### **Anthony Pirri**

Senior Planning Technician  
 Technical Planning & Bylaw Review  
 Community Planning  
 Planning and Development  
 The City of Calgary | Mail code: #8108  
**Cell** (403) 333-5548 | [Anthony.Pirri@calgary.ca](mailto:Anthony.Pirri@calgary.ca)  
 Floor 4, Municipal Building - 4-B3-3,  
 800 Macleod Tr. S.E. P.O. Box 2100, Station M,  
 Calgary, AB Canada T2P 2M5



Check out [www.calgary.ca/pdmap](http://www.calgary.ca/pdmap) to learn more about the development activity in your community.

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**From:** Elizabeth Burke-Gaffney [REDACTED] m>  
**Sent:** Wednesday, April 14, 2021 8:14 AM  
**To:** Pirri, Anthony <Anthony.Pirri@calgary.ca>  
**Subject:** [EXT] DP2021-1960

Hello Anthony,

I live at 9 West Glen Crescent... luckily for a friend I have learned about this development permit. Why haven't I received notice from the City? 25 feet abutting my yard???? Which effectively steals all of the light out of my back yard. Come on! I live next door... it's not enough I have to look at this mere feet away from my kitchen window and back entry...?

What precisely is the process for lodging a request for them to move this structure to the other side of the lot, which would place this structure abutting another similar sized structure, so no one's living is impaired?

Not very impressed with you at the moment...

Elizabeth

M. Elizabeth Burke-Gaffney, MLS, ICD.D

E: [REDACTED]  
 [REDACTED]

---

**NOTICE -**

This communication is intended ONLY for the use of the person or entity named above and may contain information that is confidential or legally privileged. If you are not the intended recipient named above or a person responsible for delivering messages or communications to the intended recipient, YOU ARE HEREBY NOTIFIED that any use, distribution, or copying of this communication or any of the information contained in it is strictly prohibited. If you have received this communication in error, please notify us immediately by telephone and then destroy or delete this communication, or return it to us by mail if requested by us. The City of Calgary thanks you for your attention and co-operation.

**From:** [Pirri, Anthony](#)  
**To:** ["Elizabeth Burke-Gaffney"](#)  
**Subject:** RE: [EXT] DP2021-1960  
**Date:** Friday, July 23, 2021 9:10:00 AM

---

Hello,

Thank you for your email. The development authority has rendered a decision on DP2021-1960 where an approval was granted for *'Development Permit: Accessory Residential Building (garage), Backyard Suite (above garage)*. Please note *July 29, 2021 is the deadline for appeals*.

As the development authority has made a decision on the application for this permit, we are unable to provide additional information, or review comments related to the application. To view the application, contact Property Research at [propertyresearch@calgary.ca](mailto:propertyresearch@calgary.ca) to arrange for an appointment on the third floor of the Municipal Building (800 Macleod Trail S.E.). In your email, provide **your name**, the **development permit number**, and the **date and time** you would like to view the plans. Viewings are by appointment only, Monday to Friday, excluding holidays, from 8:00am to 3:30pm.

**Please note: the plans are in electronic format, and viewings will take place on a monitor.**

An appeal against the Development Authority's decision to approve the Development Permit application may be made within 21 days after the Public Notice advertisement which can be viewed at [www.calgary.ca/publicnotices](http://www.calgary.ca/publicnotices). The public notice advertisement will identify the body to which an appeal must be filed.

Regards,

**Anthony Pirri**

Senior Planning Technician  
 Technical Planning & Bylaw Review  
 Community Planning  
 Planning and Development  
 The City of Calgary | Mail code: #8108  
**Cell** (403) 333-5548 | [Anthony.Pirri@calgary.ca](mailto:Anthony.Pirri@calgary.ca)  
 Floor 4, Municipal Building - 4-B3-3,  
 800 Macleod Tr. S.E. P.O. Box 2100, Station M,  
 Calgary, AB Canada T2P 2M5



Check out [www.calgary.ca/pdmap](http://www.calgary.ca/pdmap) to learn more about the development activity in your community.

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**From:** Elizabeth Burke-Gaffney [REDACTED] >  
**Sent:** Friday, July 23, 2021 8:01 AM  
**To:** Pirri, Anthony <Anthony.Pirri@calgary.ca>  
**Cc:** 'Pat GUILLEMAUD' [REDACTED]  
**Subject:** [EXT] DP2021-1960

Good morning Anthony,

When we spoke, you indicated that the referenced DP would be approved but amended to accommodate the power lines... which, assuming I've understood you properly, moves the proposed structure within the lot forward or more easterly about 4 feet... correct? How does one obtain a copy of the approval with the amending provisions?

Thank you.

Elizabeth

M. Elizabeth Burke-Gaffney, MLS, ICD.D

E: [REDACTED]  
[REDACTED]

**From:** [REDACTED]  
**Subject:** [Pirri, Anthony](#)  
**Date:** [EXT] 5 WEST GLEN CR SW - DP2021-1960 - Comment from Development Map - Thu 4/15/2021 11:13:19 AM  
Thursday, April 15, 2021 11:13:24 AM

---

Application: DP2021-1960

Submitted by: Logan Anderson

## Contact Information

Address: 136 Winchester Crescent SW

Phone:

Email: [REDACTED]

## Feedback:

I think this is a reasonable request and should be passed. The proposed development will not intrude on neighbours space or privacy and will not negatively affect the neighbourhood. The applicants keep their homes and property tidy and are respectful to their neighbours, so it can only be assumed this will continue during and after this development.

**From:** [REDACTED]  
**To:** [Pirri, Anthony](#)  
**Subject:** [EXT] 5 WEST GLEN CR SW - DP2021-1960 - Comment from Development Map - Fri 4/16/2021 8:24:7 AM  
**Date:** Friday, April 16, 2021 8:24:11 AM

---

Application: DP2021-1960

Submitted by: Jannice Nelson

Contact Information

Address: 244- 2200 Marda Link SW. Calgary AB, T2T 6C7

Phone:

Email: [REDACTED]

Feedback:

I am so pleased to see the City's sign on my family's front yard. Because of their kindness and generosity I am looking forward to being the occupant of this tastefully designed apartment. As a senior, and well aware of the limitations that come with aging, I am looking forward to the peace of mind that being close to my family will bring. I have been privileged to have viewed the plans, and I am sure that this project will be an attractive addition to the neighbourhood.

Thank you for your kind consideration.

Sincerely,

Jannice Nelson

**From:** [REDACTED]  
**To:** [Pirri, Anthony](#)  
**Subject:** [EXT] 5 WEST GLEN CR SW - DP2021-1960 - Comment from Development Map - Wed 4/21/2021 12:59:4 PM  
**Date:** Wednesday, April 21, 2021 12:59:09 PM

---

Application: DP2021-1960

Submitted by: Jocelyn Fife

## Contact Information

Address: 34 West Glen Cres SW

Phone: [REDACTED]

Email: [REDACTED]

## Feedback:

With regard to building a garage and suite, we would like it noted that we support our neighbours plans. I walk the back lanes in the area with my dog and there are a number of similar garages with what looks like suites above to me. They are very appropriate for the large lots and easy back lane access around here. Please feel free to contact me if needed. Thanks

**From:** [REDACTED]  
**Subject:** [Pirri, Anthony](#)  
**Date:** [EXT] 5 WEST GLEN CR SW - DP2021-1960 - Comment from Development Map - Mon 5/17/2021 5:38:47 PM  
Monday, May 17, 2021 5:38:50 PM

---

Application: DP2021-1960

Submitted by: M. Elizabeth Burke-Gaffney

Contact Information

Address: 9 West Glen Crescent SW

Phone: [REDACTED]

Feedback:

I am requesting the City follow it's own guidebook: building to building, yard to yard. If the applicant repositions this to the south side of his lot, it would be building to building. What would be the point of having a guidebook if the City doesn't bother with it?

---

# Development Authority Response to Notice of Appeal

---

**Appeal number:** SDAB2021-0052

**Development Permit number:** DP2021-1960

**Address:** 5 West Glen CR S.W.

**Description:** New: Accessory Residential Building (garage), Backyard Suite (above garage)

**Land Use:** Residential – Contextual One Dwelling (R-C1)

**Community:** Westgate

**Jurisdiction Criteria:**

Subject to National Resources Conservation Board, Energy Resources Conservation Board, Alberta Energy Regulator, Alberta Energy and Utilities Board, Alberta Utilities Commission or Minister of Environmental and Parks license, permit, approval, or other authorization: No

**DA Attendance:** No

**Use:** Discretionary

**Notice Posted:** Yes

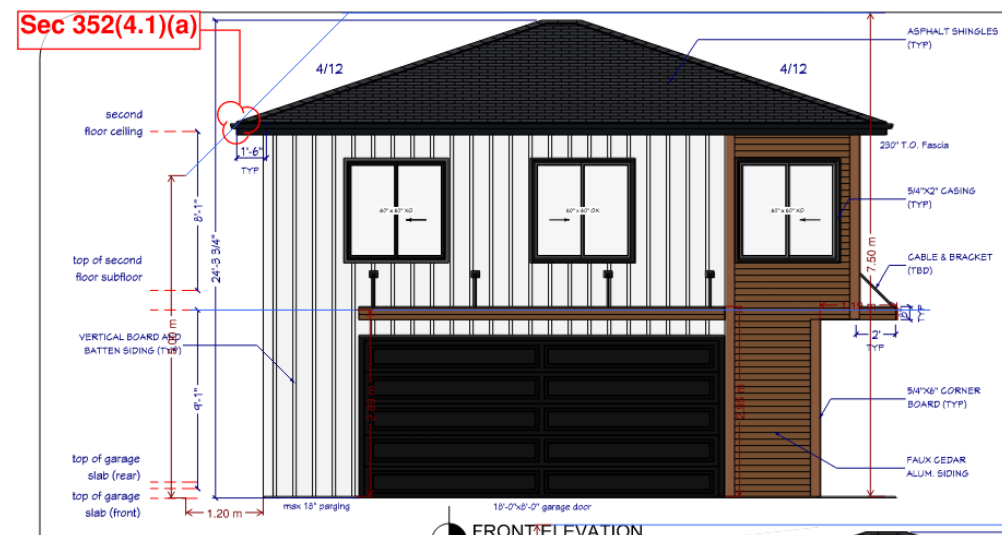
**Objections:** Yes

**Support:** Yes

## Bylaw relaxations:

The development, requires the following relaxations of the rules of the Land Use Bylaw:

Bylaw Discrepancies		
Regulation	Standard	Provided
305 Parking	(c) requires a minimum of 1.0 motor vehicle parking stalls per Dwelling Unit	Amended plans indicate 2.0 parking stalls; one for the backyard suite and one the main dwelling provided. Both stalls are in the proposed garage. Relaxation is not required.
352 Backyard Suite	(4.1) The maximum building height for a Backyard Suite is: (a) 5.0m measured from grade at a side property line shared with a parcel designated with a low-density residential district; (c) increases at a 45-degree angle to a maximum of 7.5m at a proportional distance from the shared property line.	Plans indicate a portion of the north elevation as being within the height chamfer. See image below.



**Applicable ARP, ASP or Design Brief (in addition to the MDP):**

- Backyard Suites How-to Guide (the Guide)
- Policy to Guide Discretion for Secondary Suites and Backyard Suites (the Policy)

**Additional factors, considerations and rationale for the decision:**

1. The use of Accessory Residential Building (detached garage) is a permitted use in the R-C1 district. The use of Backyard Suite is discretionary; therefore, the development was reviewed as a discretionary use. In making their decision the Development Authority applied the test of Sections 35, 36 and 37 of the Land Use Bylaw.
2. Single Detached Dwelling is the principal use of the parcel.
3. During the review, the application was circulated, and notice posted. Comments were received from the community association and neighbours. Planning related comments were a consideration of the Development Authority in making their decision.
4. In rendering the decision; the Policy and the Guide were reviewed. The Guide is an illustrated explanation of planning policies and principles outlined in the Policy.
5. Backyard suites increase the diversity and affordability of housing in neighbourhoods. Because suites cannot be sold separately from the primary house, they provide rental housing that contributes to a mix of tenures. By promoting backyard suites that are designed to fit in existing neighbourhoods the Guide and Land Use Bylaw support the implementation of Municipal Development Plan policies by:
  - a. Facilitating moderate intensification in a form and nature that respects the scale and character of the neighbourhood. (Policy 3.5.1)
  - b. Increasing housing diversity and choice providing for a wider range of housing types, tenures (rental and ownership) and densities to create diverse neighbourhoods with a range of housing choices to meet affordability, accessibility, life cycle and lifestyle needs of different groups (Policy 2.3.1.a)
  - c. Promoting methods to efficiently use or adapt existing housing stock to enable changing households to remain in the same home or neighbourhood for many years (Policy 2.3.1.d).
6. On 2018 March 12, Council adopted Bylaw 24P2018 adding secondary suite and Backyard Suite as discretionary uses in the R-1, R-C1 and R-C1L Districts. The effective date for adding Backyard Suites was withheld for Administration to return with restrictive standards for the design of Backyard Suites across all land use districts. PUD2018-1323 was later presented to Council and Bylaw 10P2019 adopted, which added Backyard Suites as an allowed use in the R-1, R-C1 and

R-C1L Districts, Council also adopted amendments to the policy, and accepted the introduction of the How-to Guide.

7. The proposed building will be in a similar location as the existing detached garage; in the southwest corner of the parcel.
  - a. The Guide states 'where feasible, buildings should be located next to buildings and yards should be located next to yards.'
  - b. The existing placement of buildings on West Glen CR S.W is building next to yard.
8. The proposed location was chosen to ensure the existing trees could be retained.
9. The building is setback more than the minimum building setback from the lane (southwest property line) in order resolve the originally identified ENMAX conflict.
10. Windows on the southwest and northeast façades follow the design principle of the Guide; windows should generally be placed to provide views to the street, the lane or into the yard shared with the primary residence.
11. One window is provided on the northwest façade and is obscured to mitigate overlooking issues.
12. The windows on the southeast façade are set back from the side property line. Overlooking issues are mitigated by the increased setback from the side property line to the façade and the existing mature vegetation.
13. Access to the suite is at grade on the southeast facade. An internal stairway provides access to the upper level of the building.
14. Two motor vehicle parking stalls are provided for both uses within the building; one for each use. This meets the required parking.
15. The development utilizes existing services.
16. It is the opinion of the Development Authority that the proposed development is aligned with the applicable policies and fits into the context of the parcel.
17. The development is in line with the purpose statement of the district.
18. It is therefore the decision of the Development Authority to approve the Development.
19. Development Authority may provide additional submission prior to the merit hearing.

**Appeal Board Received: August 18, 2021**  
**Submitted by: D. Nelson, Applicant/Owner**

---

**From:** Dawna Nelson <gdaknelson@gmail.com>  
**Sent:** August 18, 2021 12:13 PM  
**To:** Calgary SDAB Info  
**Subject:** [EXT] SDAB2021-0052

Good morning!

Our information for the appeal meeting are as follows

Trees-We have had two arborist evaluations on our trees. They both stated that the Weeping birch is healthy and no reason it should not live for another 80 years. To remove all four trees (which would be required for garage suite relocation) would cost \$1400.

Guy wire relocation- we finally have a verbal reply from Telus regarding moving the guy wire, cost is \$6575 + gst

The shading would not be substantially more than it is currently as we have designed with a low pitch roofline. The neighbouring lot would receive shading in back corner in the morning and as the day progresses it would shade our yard on our deck. We do have

Photos included from the perspective of our roof which I have included.

Sincerely,

Dawna & Greg Nelson

pphotosphotos taken from our roof as perspective I will include.





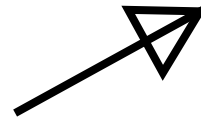








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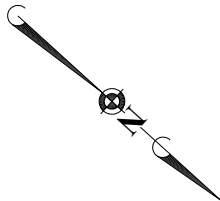


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**AREA (sq. m.)**

House	133.42
Garage Suite	78.04
Lot	584.87
<b>Coverage (%)</b>	<b>36.16%</b>

Garage Left (rear)  
Zoning R-C1



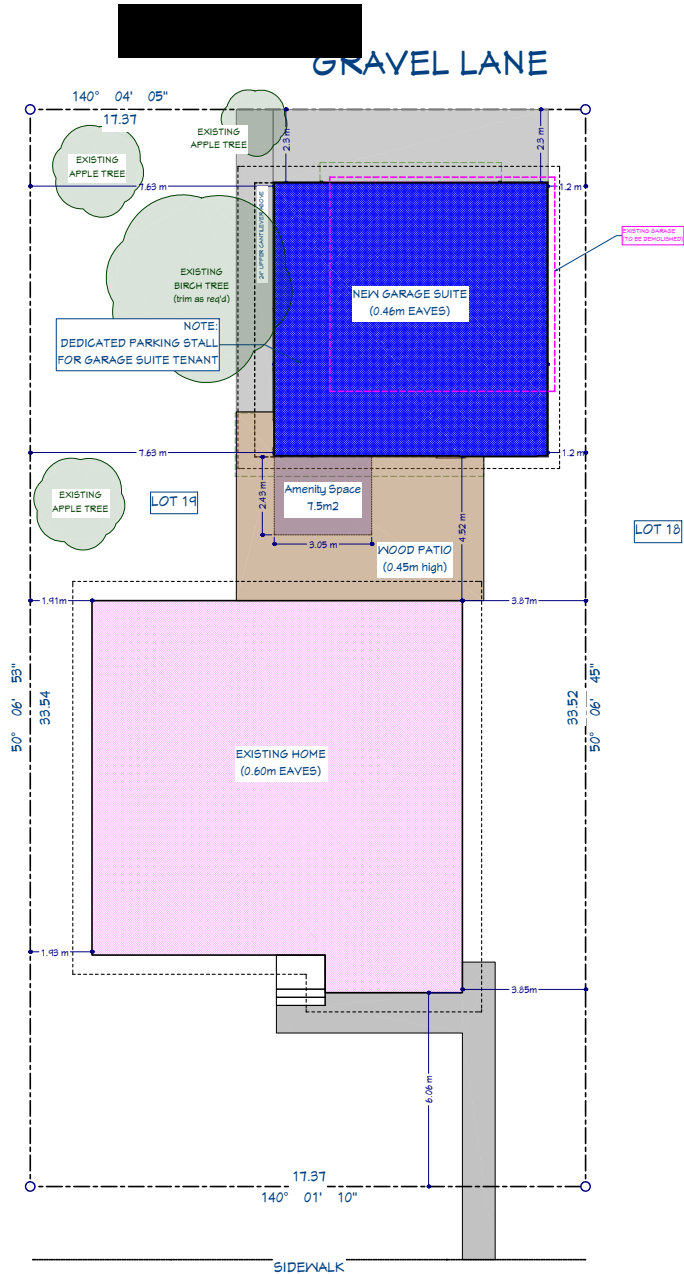
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**ALL TRADES:**  
Refer to grade slip and  
construction drawings for  
additional information as req'd

**CRIBBERS NOTE:**  
Review Construction Drawings  
before commencing work

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PRECEDENCE OVER SCALED  
DIMENSIONS.



PROJECT  
NUMBER:

LOT 19  
BLOCK 03  
PL 4994HN

DESIGN FOR:

**XXX RESIDENCE**

5 WEST GLEN CRESCENT SW

DRAWN BY:  
ZR

DATE:  
06/03/2021

SCALE:  
1:200 (metric)

FILE NAME:  
GARAGE SUITE

PLOT PLAN



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SHEET

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1

**SDAB2021-0052**

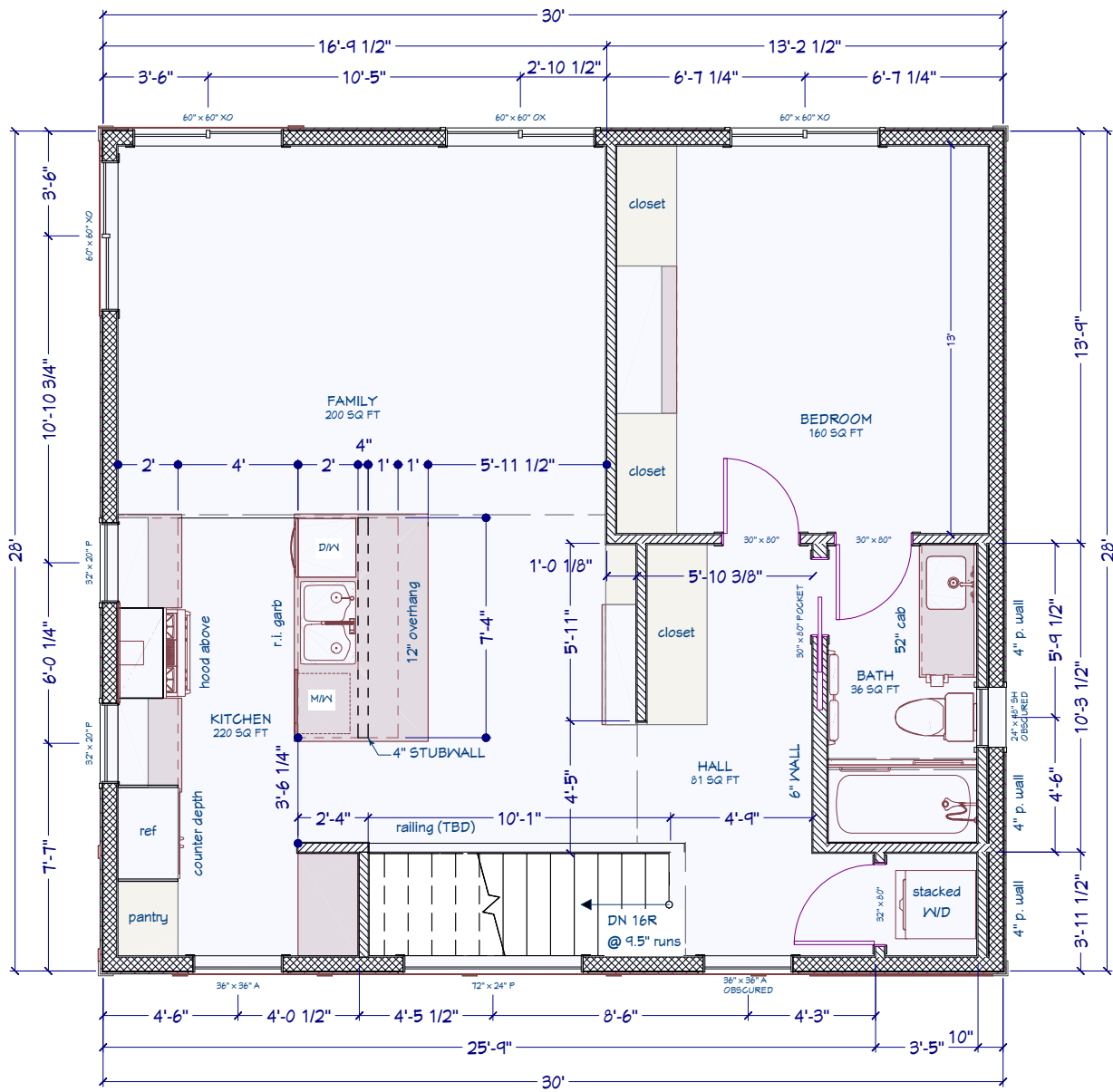
GENERAL NOTES	
<p><b>GENERAL</b></p> <p>- DRAWINGS ARE DRAWN TO SCALE AS INDICATED AND SCALING MAY VARY SLIGHTLY DUE TO REPRODUCTION. CONTRACTORS TO VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCING WORK. ANY DISCREPANCIES SHOULD BE REPORTED IMMEDIATELY TO LIVARA DESIGN INC. AND PRIOR TO CONSTRUCTION.</p> <p>- WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS</p> <p><b>FOUNDATIONS</b></p> <p>- FOOTINGS TO REST ON NATIVE, UNDISTURBED SOIL</p> <p>- FINAL EXTERIOR GRADES MAY VARY FROM THOSE SHOWN IN DRAWINGS. CONTRACTORS TO VERIFY PRIOR TO POURING ANY FOUNDATIONS.</p> <p>- ALL CONCRETE PAD FOOTINGS AND PILES TO BE VERIFIED BY STRUCTURAL ENGINEER TO MEET SOIL CONDITIONS OF THE BUILDING SITE.</p> <p><b>STRUCTURAL</b></p> <p>- TRUSS MANUFACTURER TO PROVIDE TRUSS LAYOUT AND VERIFY ALL ROOF SLOPES. TRUSSES ARE TO BE DESIGNED TO THE CURRENT EDITION OF THE BUILDING CODE AND BEAR THE SEAL OF A PROFESSIONAL ENGINEER LICENSED TO PRACTICE WITHIN ALBERTA.</p> <p>- ALL BEAMS AND LINTELS AS PER THE ALBERTA BUILDING CODE APPLICABLE TABLES.</p> <p>- JOIST SUPPLIER TO PROVIDE FLOOR LAYOUTS AND ENGINEERING FOR FLOOR SYSTEM.</p>	<p><b>FRAMING</b></p> <p>- ALL FRAMING TO BE S.P.F. #2 OR BETTER AS PER PLAN.</p> <p>- DIMENSIONS ARE FROM OUTSIDE FACE OF EXTERIOR SHEATHING TO FACE OF PARTITION WALL STUDS UNLESS NOTED OTHERWISE.</p> <p><b>DOORS AND WINDOWS</b></p> <p>- DOOR AND WINDOW SIZES SHOWN ARE TO BE VERIFIED BY MANUFACTURER. EXACT ROUGH OPENINGS TO BE SUPPLIED BY MANUFACTURER PRIOR TO CONSTRUCTION.</p> <p>- WINDOW MANUFACTURER TO ENSURE ALL WINDOWS SUPPLIED TO COMPLY WITH NAFS REQUIREMENTS.</p> <p>MINIMUM PERFORMANCE GRADE 30 MIN. POSITIVE DESIGN PRESSURE 1440PA MIN. NEGATIVE DESIGN PRESSURE 1440PA MIN. WATER PENETRATION PRESSURE 330PA MIN. CANADIAN AIR INFILTRATION A2</p> <p>ALL REQUIREMENTS CALCULATED AS PER WWW.FENESTRATIONCANADA.CA ONLINE CALCULATOR FOR WINDOW WITHIN 10mm OF GRADE ON OPEN TERRAIN TYPE. MANUFACTURER CALCULATIONS TO SUPERCEDE ARCHITECTURAL DRAWINGS.</p> <p>- MAXIMUM U VALUE FOR ALL WINDOWS TO BE 2.0</p> <p><b>MECHANICAL</b></p> <p>- MECHANICAL LAYOUT AND SPECS. SUPPLIED BY MECHANICAL CONTRACTOR.</p> <p>- IT IS THE RESPONSIBILITY OF THE MECHANICAL CONTRACTOR TO ENSURE THAT ALL MECHANICAL SYSTEMS COMPLY WITH MANUFACTURERS INSTRUCTIONS AND CONFORM WITH ALL APPLICABLE NATIONAL, PROVINCIAL AND LOCAL BUILDING CODES.</p> <p><b>ELECTRICAL</b></p> <p>- ELECTRICAL LAYOUT SHOWN IS TO BE USED AS A GUIDELINE ONLY. IT IS THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR TO ENSURE THAT DESIGN AND SYSTEMS COMPLY WITH MANUFACTURERS INSTRUCTIONS AND CONFORM WITH ALL APPLICABLE NATIONAL, PROVINCIAL AND LOCAL BUILDING CODES.</p>



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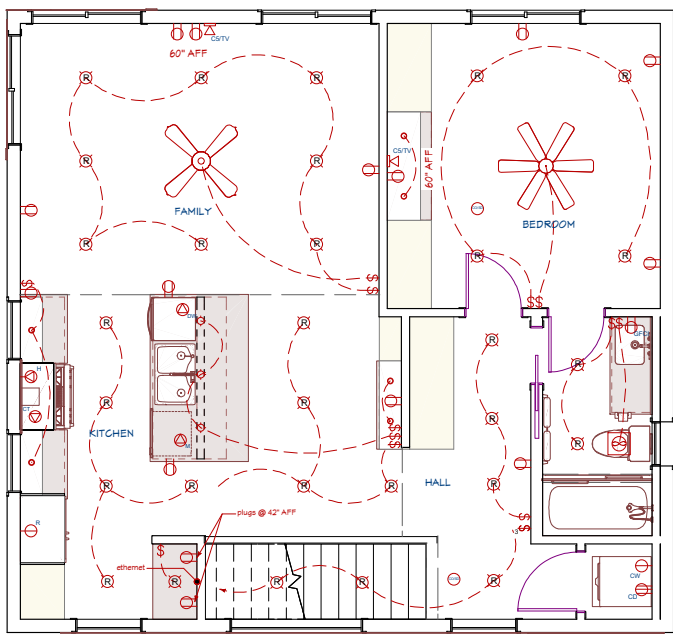
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5 WEST GLEN CRESCENT SW  
CALGARY, AB  
06/04/2021

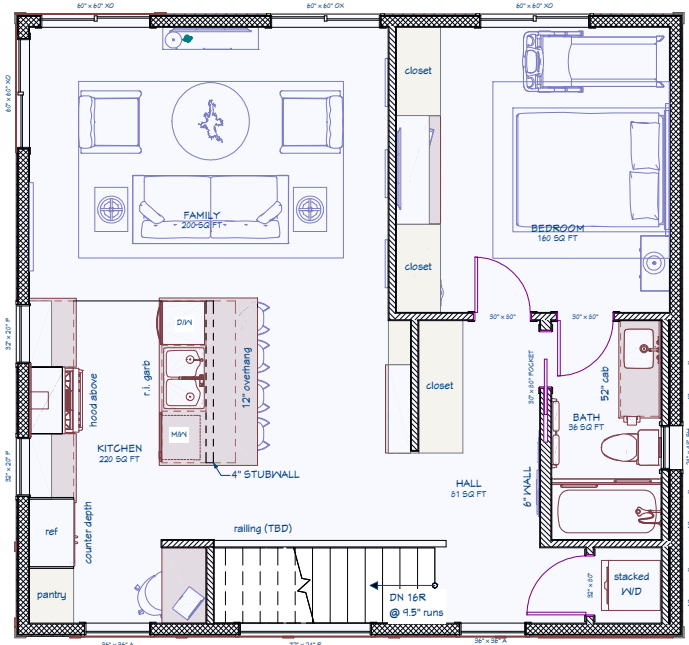


UPPER FLOOR PLAN  
3/16" = 1'-0"

2ND FLR SQ.FT. = 799 (not incl. stairs)  
TOTAL DEVELOPED  
SQ. FT. = 799  
GARAGE SQ.FT. = 784  
STAIRS = 43  
STORAGE = 80



UPPER FLOOR ELECTRICAL  
1/8" = 1'-0"



UPPER FLOOR FURNITURE  
1/8" = 1'-0"

ELECTRICAL - DATA - AUDIO LEGEND	
SYMBOL	DESCRIPTION
	Ceiling Fan
	Ventilation Fans: Ceiling Mounted, Wall Mounted
	Ceiling Mounted Light Fixtures: Surface/Pendant, Recessed, Heat Lamp, Low Voltage
	Wall Mounted Light Fixtures: Flush Mounted, Wall Sconce
	Chandelier Light Fixture
	Fluorescent Light Fixture
	240V Receptacle
	110V Receptacles: Duplex, Weather Proof, GFCI
	Switches: Single Pole, Weather Proof, 3-Way, 4-Way
	Switches: Dimmer, Timer
	Audio Video: Control Panel, Switch
	Speakers: Ceiling Mounted, Wall Mounted
	Wall Jacks: CAT5, CAT5 + TV, TV/Cable
	Telephone Jack
	Intercom
	Thermostat
	Door Chime, Door Bell Button
	Smoke Detectors: Ceiling Mounted, Wall Mounted
	Electrical Breaker Panel

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NOTE:  
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PLACEMENT  
FOR PRESENTATION PURPOSE  
ONLY

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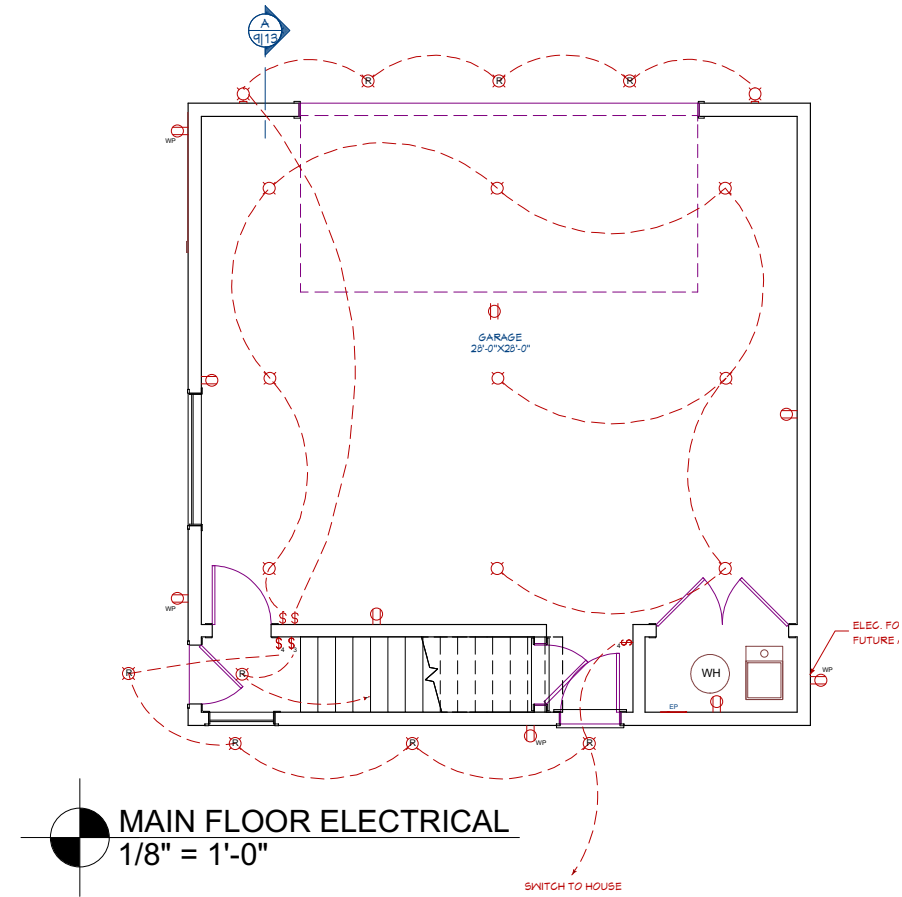
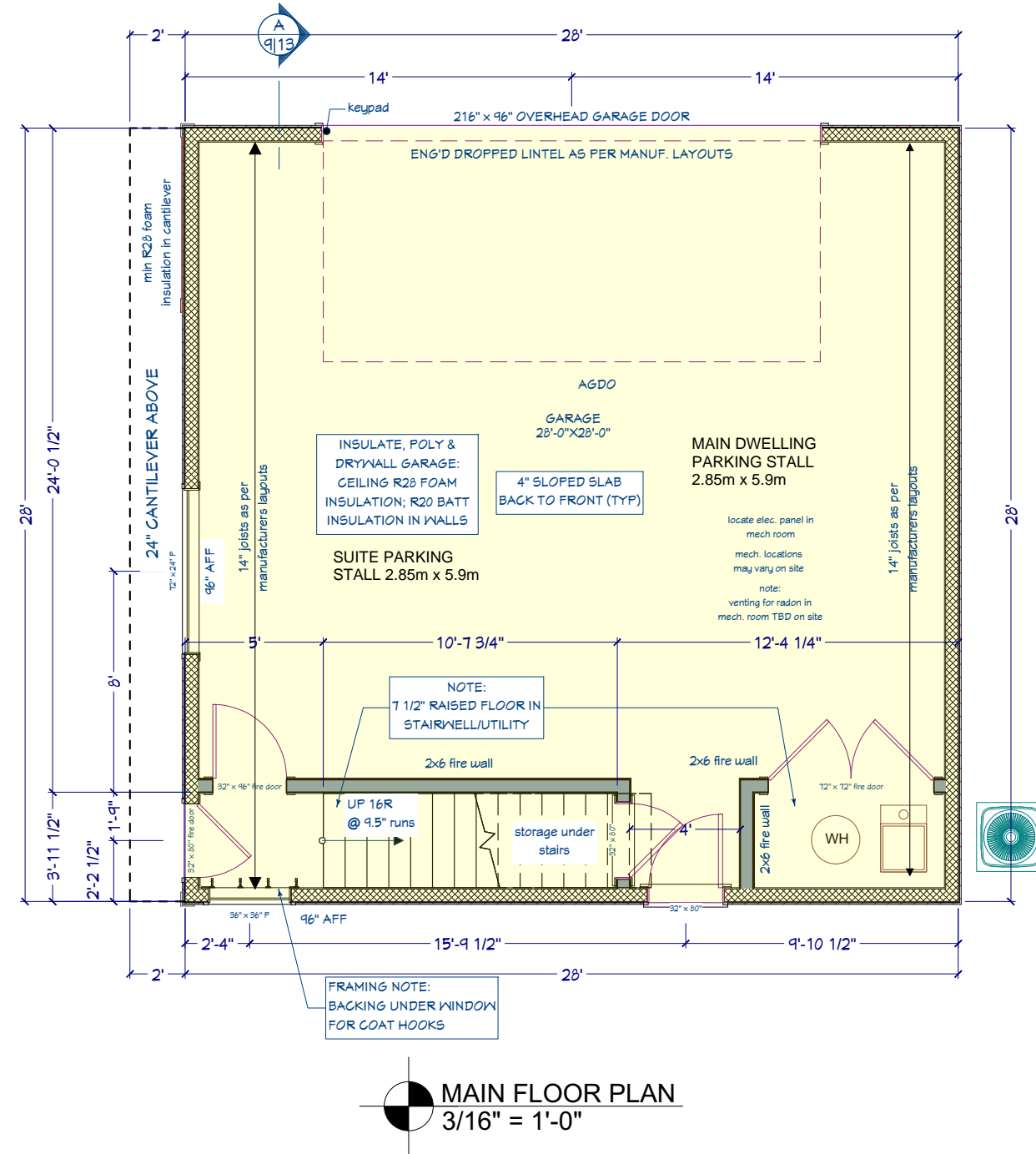
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DESIGN FOR	SCALE: TBD
PROJECT NUMBER: ---	DRAWN BY: Z. RATHGEBER
	DATE: 06/04/2021
	FILE NAME: Version 3
	VIEW: PROPOSED UPPER FLOOR
	XXX RESIDENCE
	5 WEST GLEN CRESCENT SW



ELECTRICAL - DATA - AUDIO LEGEND	
SYMBOL	DESCRIPTION
	Ceiling Fan
	Ventilation Fans: Ceiling Mounted, Wall Mounted
	Ceiling Mounted Light Fixtures: Surface/Pendant, Recessed, Heat Lamp, Low Voltage
	Wall Mounted Light Fixtures: Flush Mounted, Wall Sconce
	Chandelier Light Fixture
	Fluorescent Light Fixture
	240V Receptacle
	110V Receptacles: Duplex, Weather Proof, GFCI
	Switches: Single Pole, Weather Proof, 3-Way, 4-Way
	Switches: Dimmer, Timer
	Audio Video: Control Panel, Switch
	Speakers: Ceiling Mounted, Wall Mounted
	Wall Jacks: CAT5, CAT5 + TV, TV/Cable
	Telephone Jack
	Intercom
	Thermostat
	Door Chime, Door Bell Button
	Smoke Detectors: Ceiling Mounted, Wall Mounted
	Electrical Breaker Panel

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PROJECT NUMBER:	DESIGN FOR:  <b>XXX RESIDENCE</b>  <b>5 WEST GLEN CRESCENT SW</b>	DRAWN BY: <b>Z. RATHGEBER</b>		SCALE: <b>TBD</b>
		DATE: <b>06/04/2021</b>	FILE NAME: <b>Version 3</b>	
		VIEW: <b>PROPOSED MAIN</b>		

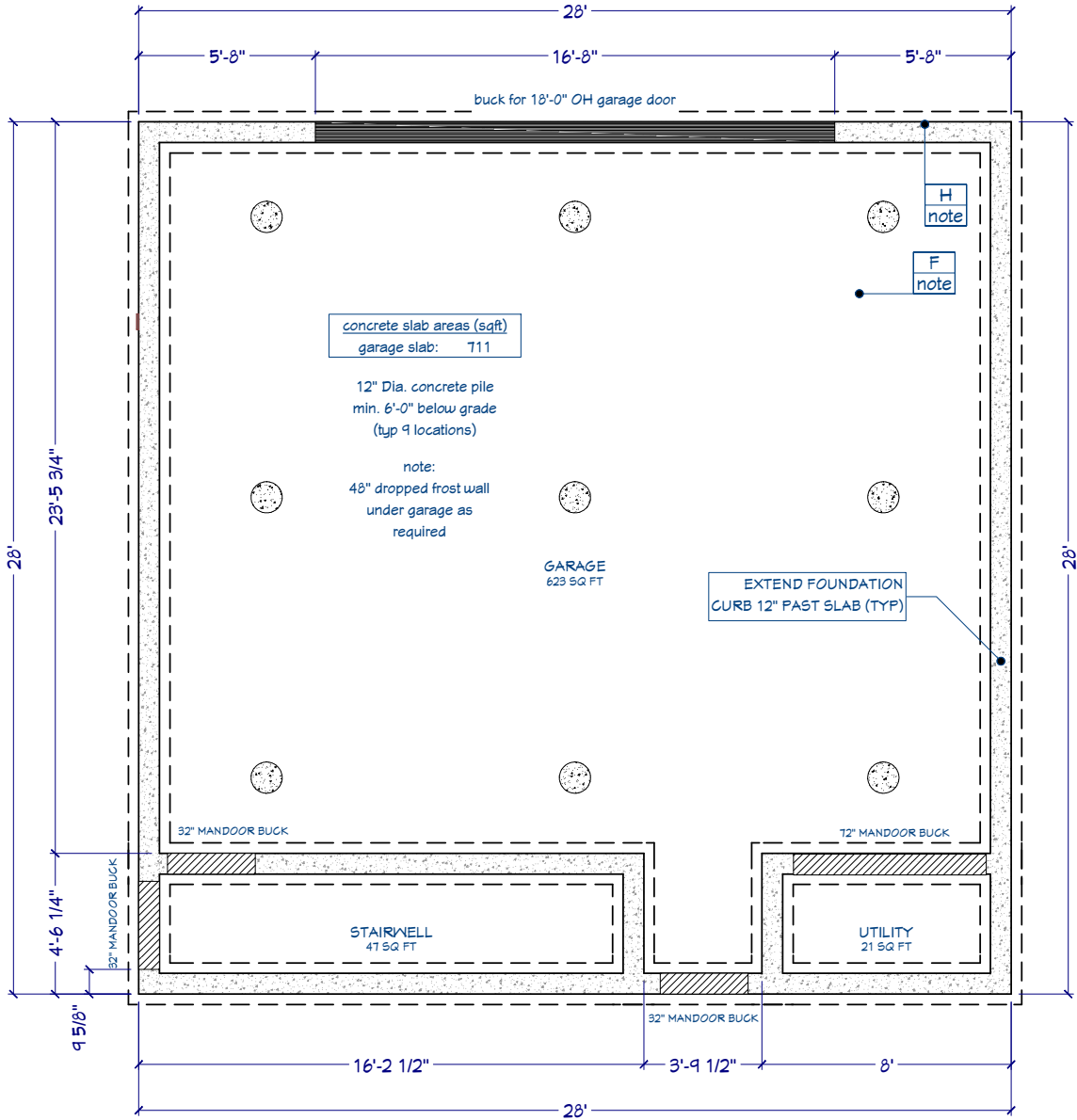
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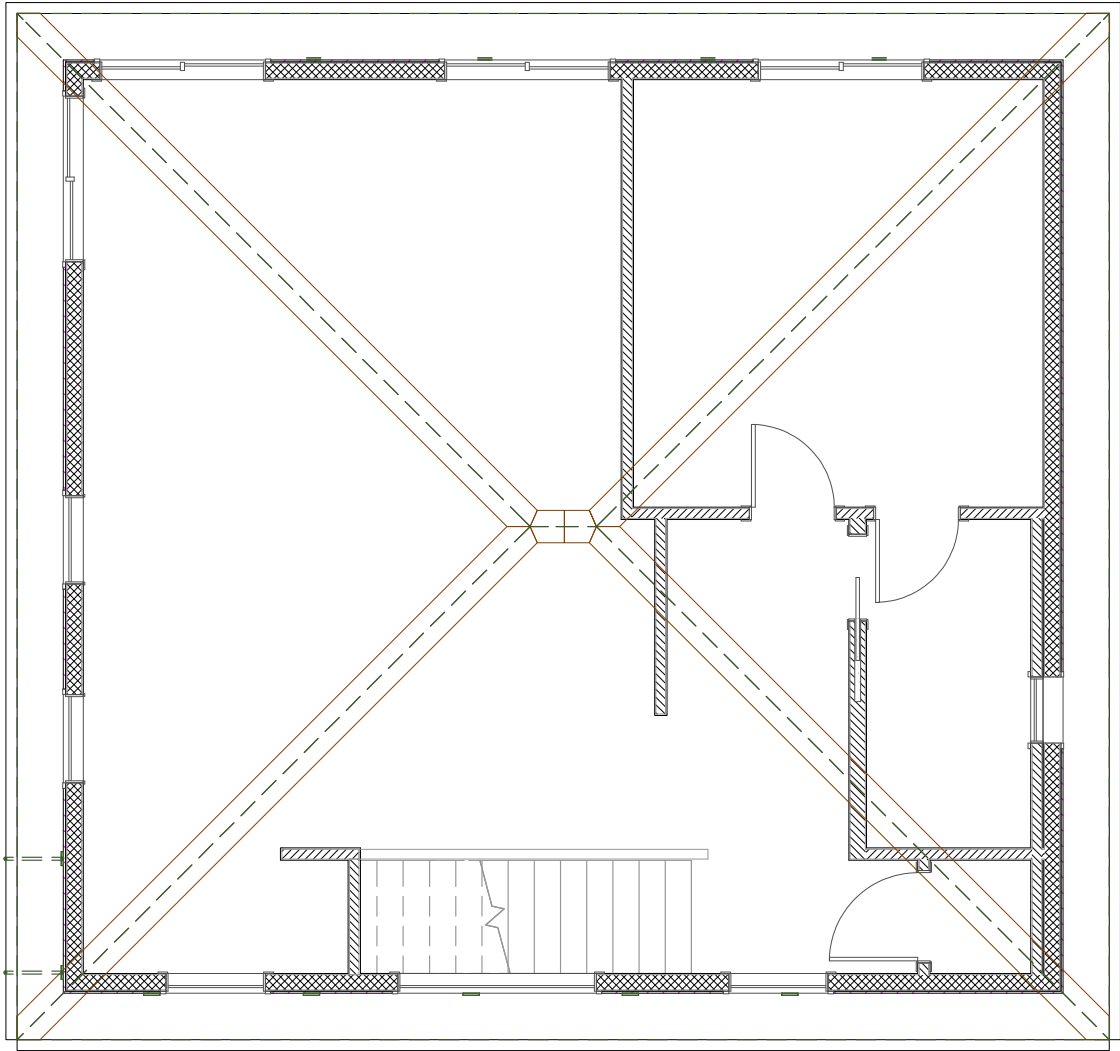
SHEET

3

14



FOUNDATION PLAN  
3/16" = 1'-0"



ROOF PLAN  
3/16" = 1'-0"

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DESIGN FOR

XXX RESIDENCE

PROJECT  
NUMBER:

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DRAWN BY:  
Z. RATHGEBER

SCALE:  
3/16"=1'-0"

DATE:  
06/04/2021

FILE NAME:  
Version 3

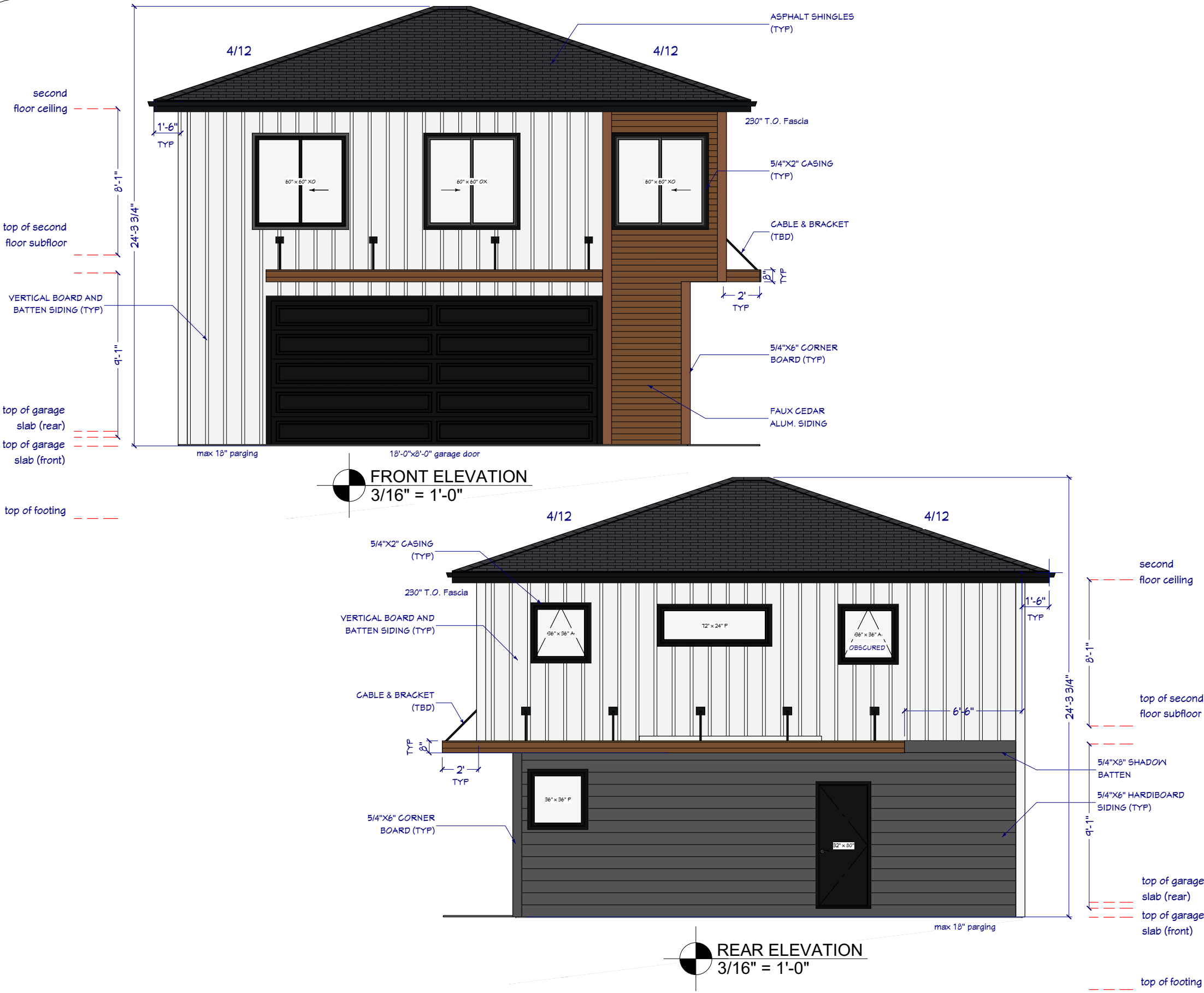
VIEW:  
PROPOSED FOUNDATION/ROOF PLAN

5 WEST GLEN CRESCENT SW

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SHEET  
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DESIGN FOR:  
**XXX RESIDENCE**  
5 WEST GLEN CRESCENT SW

PROJECT NUMBER:  
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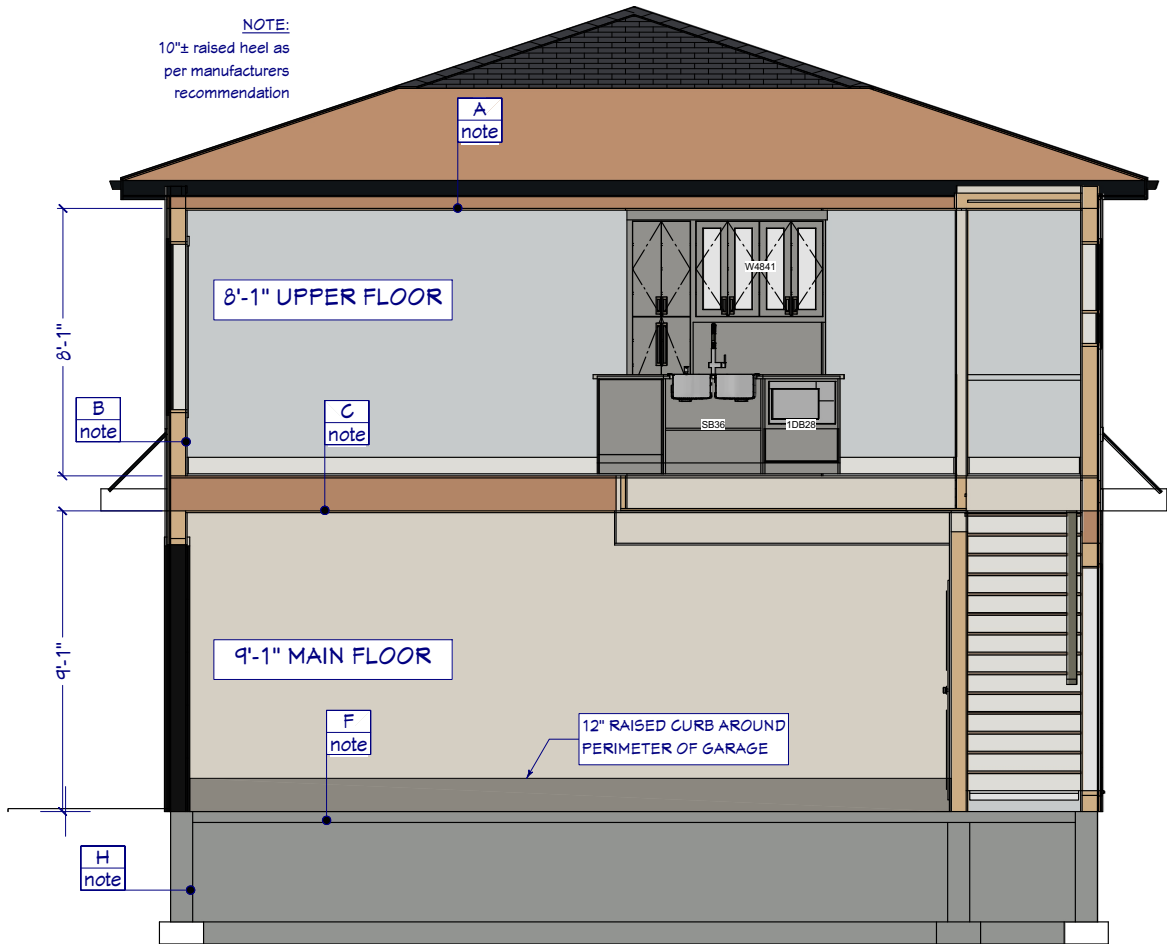
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**NOTE:**  
FURNITURE AND FURNITURE PLACEMENT FOR PRESENTATION PURPOSE ONLY

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WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.





GENERAL NOTES:

- Attic Access to be Weatherstripped & sprayfoam Insulated
- Attic Ventilation to conform to ABC 9.19.1.1
- All stair handrails & guards to conform to ABC 9.8.7 @ 9.8.8
- All construction details & procedures to conform to current ABC
- Valley Flashing as req'd
- Site dimensions & electrical locations may vary from plans
- Final site grades may alter exterior appearance
- Loads indicated on plans and/or engineering are in Working Stress
- Unfactored loads on teleposts
- Caulking provisions as required by current ABC

FRAMING NOTES:

- Load and Non Load Bearing Interior Walls to be @ 16" O.C.
- All Exterior Walls to be 2x6 @ 24" O.C.
- 3/4" spacing req'd between stringer and all walls on stairs
- Floors to be glued & screwed
- All exterior lintels to be 2-2x10 #2 SFR or better, unless noted
- Wood deck to have railings as req'd by ABC Current Edition if Applicable
- Refer to construction notes for additional information
- A gap of not less than 2mm shall be left between sheets of plywood, OSB, waferboard or fiberboard

(B note) EXTERIOR WALL CONSTRUCTION:

- Exterior Finish
- Building Paper
- 3/8" OSB Sheathing
- 2x6 Studs @ 24" O.C.
- R20 Insulation
- Vapour Barrier
- 1/2" Drywall Finish

(C note) FLOOR CONSTRUCTION:

- Finished as specified
- 3/4" OSB Subfloor
- 14" Engineered Joists (refer to manufacturers layouts for spacing)
- 9 1/2" Engineered Joists for deck (refer to manufacturers layouts for spacing)

CRIBBING NOTES:

- Step Conc. Wall as grades and elevation allow
- Add 1x4 nailers @ 24" O.C. (siding/wire support) as req'd
- Maximum 18" Parging
- Refer to Engineering for additional information

(A note) ROOF CONSTRUCTION:

- Roofing Material
- 3/8" ASB clw 'H' Clips
- Approved Wood Trusses @ 24" O.C. (refer to Manufacturer Layout)
- R55 Insulation
- Vapour Barrier (6 Mil)
- 1/2" Drywall Ceiling

(F note) GARAGE FLOOR CONSTRUCTION:

- 4" Concrete Slab
- 8" Compacted Gravel
- Slope slab 4"

(H note) FROST WALL CONSTRUCTION:

- 8" Concrete Wall
- 16"x6" Conc. Footing under Garage
- 24"x8" Conc. Footing under House
- Min. 4'-0" below Grade as per Engineer

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WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.

NOTE:  
FURNITURE AND FURNITURE PLACEMENT FOR PRESENTATION PURPOSE ONLY

NOTE:  
3D DRAWINGS ARE FOR VISUAL AID ONLY; EXACT CONSTRUCTION & DESIGN WILL BE DETERMINED BY THE EXISTING CONDITIONS ON SITE

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SHEET 7 14

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DESIGN FOR  
XXX RESIDENCE  
5 WEST GLEN CRESCENT SW

PROJECT NUMBER: ---  
DRAWN BY: Z. RATHGEBER  
SCALE: 3/16" = 1'-0"  
DATE: 06/04/2021  
FILE NAME: Version 3  
VIEW: SECTION

**Appeal Board Received: September 18, 2021**  
**Submitted by: E. Burke-Gaffney, Appellant**

---

**From:** Elizabeth Burke-Gaffney <ebg@cleverguy.com>  
**Sent:** Saturday, September 18, 2021 11:45 AM  
**To:** Calgary SDAB Info  
**Cc:** 'Pat GUILLEMAUD'  
**Subject:** RE: [EXT] RE: SDAB2021-0052 Hearing Rescheduling from September 30, 2021

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

Hello,

The only further submission I will make is the following:

On September 3, 2021, I spoke with Mr. Greg Nelson about the proposed development and the following summarizes our discussion:

- (a) Mr. Nelson agreed to move the development to the other/south side of their lot, in fact he said it was "preferred";
- (b) I said to Mr. Nelson I was not against the development simply the location of the development on the lot, to which Mr. Nelson said he understood my position;
- (c) I asked about Mr. Nelson's neighbor (Herman who lives about 24 Wheatland) – Mr. Nelson confirmed Herman is indifferent, in fact, he is likely happier because the debris from the apple trees would be gone and less work for the Nelsons too;
- (d) Mr. Nelson confirmed that the guy-wire belonged to Telus, that they had spoken with Telus and confirmed that Telus is prepared to move the guy-wire. I said to Mr. Nelson that I would be prepared to contribute to the cost of the movement of the guy-wire if it made the deal go around. (I had a maximum \$ number in my mind of \$1000.00 payable to Mr. Nelson when the guy-wire was moved, though this was not discussed);
- (e) Mr. Nelson was going to go back to the City to request approval of the change to the permit (neither one of us knowing the information you shared below);
- (f) I shared with Mr. Nelson the name of a company I was using to prune some of the trees in my lot if it was helpful;
- (g) With neighbour resolution, neither one of us knew what the next steps were – as I say, he was going to follow-up with the City and let me know the results of his inquiry.

As of this date, I have had no further discussions primarily on account of resolution having been obtained and awaiting results of next steps.

Respectfully submitted,

Elizabeth

M. Elizabeth Burke-Gaffney, MLS, ICD.D

---

**From:** Calgary SDAB Info [mailto:Info@calgarysdab.ca]  
**Sent:** September 11, 2021 5:55 PM  
**To:** Elizabeth Burke-Gaffney  
**Cc:** Calgary SDAB Info  
**Subject:** RE: [EXT] RE: SDAB2021-0052 Hearing Rescheduling from September 30, 2021

Thank you for the response and agreement to the date change. We will be in touch to confirm once we hear from the other parties.

Please note that as the development permit is now under appeal, jurisdiction is with the SDAB, and not the Development Authority. While the DA will participate in the appeal process to explain their decision rationale, they cannot take any further action on the permit until the appeal process is completed, such as approving any proposed changes. The SDAB encourages parties to reach resolution whenever possible, and information on the proposed agreement, such as the details you have noted in your email below, would be helpful to bring to the Board as part of your evidence submissions. At the hearing the panel will hear presentation from all parties, generally to confirm that there is an agreement and then issue a decision on the appeal.

A reminder your deadline for further submissions to **evidence will be noon on September 22.**

Thank you,

**SDAB Admin**

City Appeal Boards, Appeals and Tribunals  
City Clerk's Office | The City of Calgary | Mail Code #8110  
PO Box 2100, Station M | Calgary, AB T2P 2M5  
General Phone Line: 403.268.5312 | [calgarysdab.ca](http://calgarysdab.ca)

---

**From:** Elizabeth Burke-Gaffney <ebg@cleverguy.com>  
**Sent:** Saturday, September 11, 2021 10:39 AM  
**To:** Calgary SDAB Info <Info@calgarysdab.ca>  
**Subject:** [EXT] RE: SDAB2021-0052 Hearing Rescheduling from September 30, 2021

Good morning,

That time is acceptable; please note that the parties have agreed on resolution and await the City. That is, the residents of 5 West Glen Crescent have agreed to move the structure without issue – they have shared with me that they are waiting on the City to approve this change. Furthermore, they have confirmation from Telus that Telus will move the guy wire and I have said I would contribute some money to that move, as long as Telus moves it. There is consensus.

Thank you.

All the best,  
Elizabeth

---

**From:** Calgary SDAB Info [<mailto:Info@calgarysdab.ca>]  
**Sent:** September 10, 2021 8:01 AM  
**To:** Calgary SDAB Info  
**Subject:** SDAB2021-0052 Hearing Rescheduling from September 30, 2021

Good morning,

The City of Calgary will be observing the **National Day for Truth & Reconciliation** this September 30 as a holiday going forward. We are contacting you to arrange an alternative date for the merit hearing the Board scheduled to Thursday, September 30 at 10:00 a.m.

The Board is proposing **Wednesday, October 6 at 10:00 am** as an alternative date. Please advise at your earliest convenience if the proposed date is acceptable.

We appreciate your prompt reply that we may reschedule this meeting,

**SDAB Admin**

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---

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**Appeal Board rec'd: September 21, 2021**  
**Submitted by: E. Burke-Gaffney, appellant**

---

**From:** Elizabeth Burke-Gaffney <ebg@cleverguy.com>  
**Sent:** Tuesday, September 21, 2021 6:15 PM  
**To:** Calgary SDAB Info  
**Cc:** 'Pat GUILLEMAUD'  
**Subject:** RE: [EXT] RE: SDAB2021-0052 Hearing Rescheduling from September 30, 2021

Hello and good evening,

I wanted to update you that today\* I spoke with Greg Nelson the summary of which discussion is below:

1. They have pursued their discussion with the City, without success;
2. I disclosed that I had corresponded with the appeal board whose advice with respect to the City's involvement being more passive at this time was news to me. I did say that I had submitted to the Appeal Board our resolution;
3. In the discussion, I confirmed that I would be prepared to contribute to the movement of the guy-wire... he then said he had the quote from Telus approx \$6500.00, asked if I would pay half? No, I said I was thinking \$1000.00, \$1500.00 max;
4. Mr. Nelson suggested that the City may have some undisclosed barriers in terms of the resolution between us – I asked for clarification to which I received none;
5. He said, ok, they would again agree to move the structure to the south/other side of their lot, they would be prepared for all the costs in front of them if I paid them \$1500.00 for the movement of the guy-wire;
6. I agreed to pay the \$1500.00 and would pay it when the guy-wire (and an invoice for such work) was actually moved;
7. Mr. Nelson said they would be submitting the same information.

Respectfully submitted,  
 Elizabeth

\*The Nelsons left a note in my mailbox on Sunday night; I went to their home on Monday (yesterday) and did not find them at home, so as he gave me his number, I called him today.

---

**From:** Calgary SDAB Info [mailto:Info@calgarysdab.ca]  
**Sent:** September 20, 2021 10:00 AM  
**To:** Elizabeth Burke-Gaffney  
**Cc:** 'Pat GUILLEMAUD'; Calgary SDAB Info  
**Subject:** RE: [EXT] RE: SDAB2021-0052 Hearing Rescheduling from September 30, 2021

Good Morning,

We are in receipt of your email and will include it in the Board Report that will be available before the hearing on our website at [www.calgarysdab.ca/active-appeals.html](http://www.calgarysdab.ca/active-appeals.html)

Thank you,

**SDAB Admin**

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General Phone Line: 403.268.5312 | [calgarysdab.ca](http://calgarysdab.ca)

---

**From:** Elizabeth Burke-Gaffney <[ebg@cleverguy.com](mailto:ebg@cleverguy.com)>  
**Sent:** Saturday, September 18, 2021 11:45 AM  
**To:** Calgary SDAB Info <[Info@calgarysdab.ca](mailto:Info@calgarysdab.ca)>  
**Cc:** 'Pat GUILLEMAUD' <[guillemp@telus.net](mailto:guillemp@telus.net)>  
**Subject:** RE: [EXT] RE: SDAB2021-0052 Hearing Rescheduling from September 30, 2021

Hello,

The only further submission I will make is the following:

On September 3, 2021, I spoke with Mr. Greg Nelson about the proposed development and the following summarizes our discussion:

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Respectfully submitted,

Elizabeth

M. Elizabeth Burke-Gaffney, MLS, ICD.D

---

**From:** Calgary SDAB Info [<mailto:Info@calgarysdab.ca>]  
**Sent:** September 11, 2021 5:55 PM  
**To:** Elizabeth Burke-Gaffney  
**Cc:** Calgary SDAB Info  
**Subject:** RE: [EXT] RE: SDAB2021-0052 Hearing Rescheduling from September 30, 2021

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Please note that as the development permit is now under appeal, jurisdiction is with the SDAB, and not the Development Authority. While the DA will participate in the appeal process to explain their decision rationale, they cannot take any further action on the permit until the appeal process is completed, such as approving any proposed changes. The SDAB encourages parties to reach resolution whenever possible, and information on the proposed agreement, such as the details you have noted in your email below, would be helpful to bring to the Board as part of your evidence submissions. At the hearing the panel will hear presentation from all parties, generally to confirm that there is an agreement and then issue a decision on the appeal.

A reminder your deadline for further submissions to **evidence will be noon on September 22.**

Thank you,

## SDAB Admin

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**Sent:** Saturday, September 11, 2021 10:39 AM  
**To:** Calgary SDAB Info <[Info@calgarysdab.ca](mailto:Info@calgarysdab.ca)>  
**Subject:** [EXT] RE: SDAB2021-0052 Hearing Rescheduling from September 30, 2021

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Thank you.

All the best,  
Elizabeth

---

**From:** Calgary SDAB Info [<mailto:Info@calgarysdab.ca>]  
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**To:** Calgary SDAB Info  
**Subject:** SDAB2021-0052 Hearing Rescheduling from September 30, 2021

Good morning,

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The Board is proposing **Wednesday, October 6 at 10:00 am** as an alternative date. Please advise at your earliest convenience if the proposed date is acceptable.

We appreciate your prompt reply that we may reschedule this meeting,

## SDAB Admin

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---

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**Appeal Board Received: September 22, 2021**  
**Submitted by: D. Nelson, Applicant/Owner**

---

**From:** Dawna Nelson <gdaknelson@gmail.com>  
**Sent:** Wednesday, September 22, 2021 1:20 PM  
**To:** Calgary SDAB Info  
**Subject:** Re: [EXT] SDAB2021-0052  
**Attachments:** hand drawn alternate position.pdf

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

Submission of alternate plan.

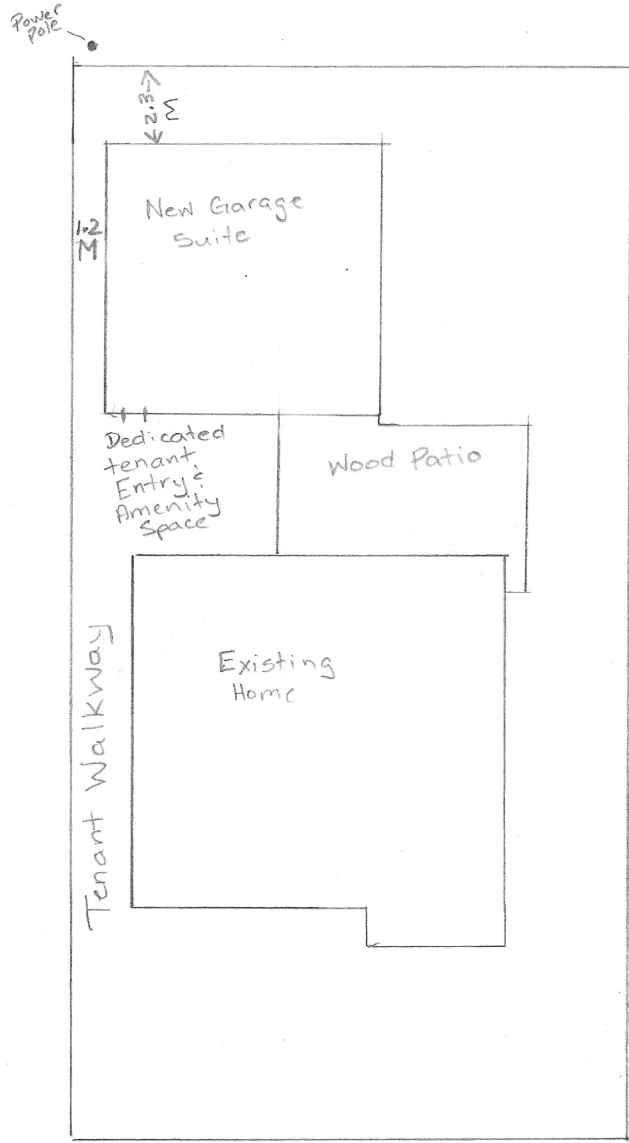
Options we have discussed, although we are open to alternate suggestions outside of what we have thought of.

A- Keep structure where is, as is, in the plans that have been approved by city planning. This will allow us to keep 3 of the 4 the 60 year old trees that add enrichment to our neighbourhood. Neighbours come by regularly and harvest apples from our trees without charge or obligation, fostering community spirit and good relations.

B- We are open to the option of moving the building to the SE corner of the lot. The main reasons we have not considered this prior is that there is substantial increase in fees. Approximately \$15000 for the following items: tree removal, guy wire relocation, plan redesign costs, replacement of trees with new landscaping and a new paved walkway for tenant. If the city and the neighbours would like this option, is there a way these costs can be shared? Elizabeth has verbally agreed to sharing the cost, indicating \$1500 would be her maximum contribution. A hand drawn plot plan is included with this email for visual aspect but is not to scale, although distances are noted.

C- We have discussed this alternate plan with the appellant, suggested a move of the garage to a distance 5 feet from the south West fence to help alleviate the concern of extra shadows.

Sincerely,  
 Greg & Dawna Nelson



**Appeal Board rec'd: September 1, 2021**  
**Submitted by: L, Moore, neighbour**

**From:** Moore, Laurie <lmoore@mccarthy.ca>  
**Sent:** Wednesday, September 1, 2021 5:00 PM  
**To:** Calgary SDAB Info  
**Subject:** [EXT] Appeal #SDAB2021-0052 (5 Westglen Crescent)

I can't make the September 30<sup>th</sup> meeting. I want to go on record that I support my neighbours in having this garage/carriage house being built. If you need anything else, my cell number is 587-229-0987.



**Laurie Moore**

Legal Assistant | Adjointe juridique  
 Financial Services | Services financiers  
 Ambassador - Idea+eXchange | Ambassadrice – Idée+Échanges  
 Joe Palin, Laura Zurowski, and Sydney Hamilton  
 T: 403-260-3578  
 E: [lmoore@mccarthy.ca](mailto:lmoore@mccarthy.ca)

**MT Services Limited Partnership**

Administrative services provider for McCarthy Tétrault LLP  
 Suite 4000  
 421 - 7th Avenue SW  
 Calgary AB T2P 4K9

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---

**From:** Calgary SDAB Info <Info@calgarysdab.ca>  
**Sent:** Monday, August 23, 2021 9:15 AM  
**To:** Moore, Laurie <lmoore@mccarthy.ca>  
**Cc:** Calgary SDAB Info <Info@calgarysdab.ca>  
**Subject:** [EXT] RE: Appeal #SDAB2021-0052 (5 Westglen Crescent)

Good Morning,

Thank you for pre-registering for the hearing August 26. I have attached a tip sheet to help you in using Microsoft Teams.

Please feel free to join the call up to 15 minutes prior to your scheduled hearing time.

Thank you,

**SDAB Admin**

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 PO Box 2100, Station M | Calgary, AB T2P 2M5  
 General Phone Line: 403.268.5312 | [calgarysdab.ca](http://calgarysdab.ca)

**From:** Moore, Laurie <[lmoores@mccarthy.ca](mailto:lmoores@mccarthy.ca)>  
**Sent:** August 19, 2021 2:58 PM  
**To:** Calgary SDAB Info <[Info@calgarysdab.ca](mailto:Info@calgarysdab.ca)>  
**Subject:** [EXT] Appeal #SDAB2021-0052 (5 Westglen Crescent)

Hello,

I would like to participate in this.



**Laurie Moore**

Legal Assistant | Adjointe juridique  
 Financial Services | Services financiers  
 Ambassador - Idea+eXchange | Ambassadrice – Idée+Échanges  
 Joe Palin, Laura Zurowski, and Sydney Hamilton  
 T: 403-260-3578  
 E: [lmoores@mccarthy.ca](mailto:lmoores@mccarthy.ca)

**MT Services Limited Partnership**

Administrative services provider for McCarthy Tétrault LLP  
 Suite 4000  
 421 - 7th Avenue SW  
 Calgary AB T2P 4K9

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Appeal Board rec'd:  
December 6, 2021  
Submitted by:  
Development Authority

---

# Development Authority Response to Notice of Appeal

*Additional Submission December 16, 2021*

---

**Appeal number:** SDAB2021-0052

**Development Permit number:** DP2021-1960

**Address:** 5 West Glen CR S.W.

## **Background:**

At the October 6, 2021 hearing of the SDAB the parties indicated that they are working toward a negotiated solution. The item was adjourned to the Call of the Chair while the applicant gathered materials to reflect the agreement of the parties to move the garage to the opposite side of the parcel.

The Development Authority originally requested this change on the Detailed Review issued on May 14, 2021 (P63-68 of the Board Report). After the Detailed Review was issued, Development Authority discussed the location with the applicant decided to accept the original proposal with minor changes to address Enmax comments. The Development Authority has no objections to the applicant's proposal as it is consistent with proposals discussed during the review.

On October 20, 2021, as a courtesy, the applicant provided the Development Authority with amended drawings showing the garage moved from the northern side of the parcel to the south. To aid the Board in their deliberations the Development Authority completed a Bylaw check on the amended plans which is attached.

The change proposed by the applicant results in the garage doors being obstructed by an existing guide wire. The applicant has corresponded with Enmax and Telus; the guide wire can be moved at the cost of the applicant. A prior to release condition is proposed to address moving of the guide wire.

**Bylaw relaxations:**

A Bylaw Check on the October 20, 2021 plans are attached. This includes a spreadsheet showing all calculations and plans which are marked up to show the calculations. Two discrepancies were identified, these are consistence with the discrepancies identified with the Development Authority's original decision.

<b>Bylaw Discrepancies</b>		
<b>Regulation</b>	<b>Standard</b>	<b>Provided</b>
352 Backyard Suite	(4.1) The maximum building height for a Backyard Suite is: (a) 5.0m measured from grade at a side property line shared with a parcel designated with a low-density residential district; (c) increases at a 45-degree angle to a maximum of 7.5m at a proportional distance from the shared property line.	Plans indicate a portion of the south elevation as being within the height chamfer.

**Suggested Prior to Release Conditions for Guide Wire:****Context:**

An existing guide wire interferes with access to the proposed private garage, the applicant and worked with Enmax and Telus and have received confirmation that the line can be moved at cost.

**Proposed Condition:**

"After the Development Permit is approved but prior to its release, remit a proof of payment for the relocation of the existing guide wire."

**Other Conditions:**

It is requested that the Board requiring any changes to the plans be documented as a Prior to Release Condition. Meaning, that the plans be provided to the Development Authority before the permit is released to the applicant to commence construction.

**District Title:** Residential - Contextual One Dwelling (R-C1) (R-C1s)

The information contained herein is intended for information purposes only. Please refer to the Calgary Land Use Bylaw 1P2007 for a complete list of rules and regulations. This form has no legal status and cannot be used as an official interpretation of the Land Use Bylaw 1P2007.

<b>Date:</b>	October 28, 2021
<b>Date Received:</b>	October 28, 2021
<b>F/M:</b>	<b>Anthony Pirri</b>
<b>BLC BY:</b>	<b>Christine Loxton</b>
<b>Review Required:</b>	
COMPLETE	▼
<b>Markups Completed Electronically:</b>	
Yes - Refer to Liveline	▼

D.P. #	2021-1960
--------	-----------

For Internal Distribution Only

Modifier(s):	F.A.R		Height		Density		ALL MODIFIER(S) ARE COMPULSORY (Cannot be relaxed)
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<b>Project Description(s):</b>	New: Accessory Residential Building (garage), Backyard Suite (above garage)
--------------------------------	---

**Floodway/Floodfringe/Overland Flow**

DOES NOT APPLY

***\*If applicable Complete Flood Sheet\****

### Airport Vicinity Protection Area (AVPA)

DOES NOT APPLY

Right-of-Way Setback(S)					
Rd / St / Av	N/A	Required	N/A	Provided	N/A
Rd / St / Av	N/A	Required	N/A	Provided	N/A
Rd / St / Av	N/A	Required	N/A	Provided	N/A

<i>Main Floor Elevation(S):</i>	<i>Roof Peak Elevation(s):</i>
N/A	

**\*LDR: For Additions or alterations to existing See Section 358 For Dwellings Deemed Conforming\***

[illegible]

Page 2 Residential – Contextual One Dwelling						D.P. # 2021-1960		
Rule	Requirements				Evaluation			
					Provided/Variance			
Secondary Suites	If applicable please refer to Secondary Suites Form				See Attached		N/A	N/I
153.1(a)(vi) Backyard Suite	A Backyard Suite must be located on the same parcel as a Contextual Single Detached Dwelling or a Single Detached Dwelling.				C	N/C	N/A	N/I
Accessory Building	If applicable please refer to Accessory Residential Building Form				See Attached		N/A	N/I
393 Parcel Coverage	The max. parcel coverage is 45.0% of the area of a parcel, which must be reduced by 21.0 m <sup>2</sup> for each required motor vehicle parking stall that is <b>not</b> provided in a private garage.				%		%	
	45% X <div>581.73 Parcel Area</div> minus <div>Required Stalls</div> X 21m <sup>2</sup> = <div>261.78 Max. Coverage</div>				35.41%		-9.59%	
	Parcel Coverage Totals				m <sup>2</sup>		m <sup>2</sup>	
	House	Proj. > 1.0m	Garage/BYS	Other	Total			
	133.17		72.83		206.00		206.00	-55.78
341 Driveways	(1) A driveway must not have direct access to a major street unless:	(a) there is no practical alternative method of vehicular access to the parcel; and			C	N/C	N/A	N/I
		(b) a turning space is provided on the parcel to allow all vehicles exiting to face the major street.			C	N/C	N/A	N/I
	(2) A driveway connecting a street to a private garage must:	(a) be a min of 6.0 m in length along the intended direction of travel for vehicles measured from:	(i) the back of the public sidewalk to the door of the private garage; or		N/A			
			(ii) a curb where there is no public sidewalk to the door of a private garage, and		N/A			
		(b) contain a rectangular area measuring 6.0m in length and 3.0m in width.			C	N/C	N/A	N/I
			(3) A driveway connecting a lane to a private garage must be a min of 0.60m in length along the intended direction of travel for vehicles, measured from the property line shared with the lane to the door of a private garage.			2.30		1.70
	(4) Parking Surface located in the actual front setback must be hard surfaced.			C	N/C	N/A	N/I	
	(5) That portion of a driveway including a motor vehicle parking stall within 6.0m of a public sidewalk, or a curb on a street where there is no public sidewalk, must not exceed a width of:	(a) 6.0 m where the parcel width is 9.0m or less; or		N/A				
		(b) 7.0m for parcel width > than 9.0m and < than 15.0m		N/A				
	(6) In the Developed Area, driveway accessing a street must not be constructed, altered or replaced except where:	(a) located on a laneless parcel; (b) located on a laned parcel and 50.0% or more parcels on same block face have an existing driveway accessing a street; or (c) legally existing driveway not being relocated or widened.		C		N/C	N/A	N/I
		Existing Driveway No Changes						
305 Parking	(c) requires a minimum of 1.0 motor vehicle parking stalls per Dwelling Unit (which includes secondary suites if applicable)				0		-1	
	If use is other refer to Parking/Loading/Bicycle Form				See Attached		N/A	N/I
	(3) The minimum depth of a motor vehicle parking stall is 5.9m where it is required							

122 Standards for Motor Vehicle Parking Stalls	Page 3	For:				
		(a) a Contextual Single Detached Dwelling, Duplex Dwelling, Secondary Suite, Semi-detached Dwelling or Single Detached Dwelling		C	N/C	N/A
		(4) The minimum width of a motor vehicle parking stall required for a Dwelling Unit is:				
		(a) 3.0m where both sides of a stall abut a physical barrier;				
		(b) 2.85m where one side of a stall abuts a physical barrier; and				
		(c) 2.5m in all other cases.		C	N/C	N/A
		(15) Motor vehicle parking stalls for a Backyard Suite, Contextual Semi-detached Dwelling, Contextual Single Detached Dwelling, Duplex Dwelling, Secondary Suite, Semi-detached Dwelling and Single Detached Dwelling must be:				
		(a) hard surfaced; and				
		(b) located wholly on the subject parcel.		C	N/C	N/A

Page 4

Accessory Residential Building							D.P. #	2021-1960				
Rule	Requirements						Evaluation					
					Notes		Provided/Variance					
345 Accessory Residential Building	(1) The min. building setback for an Accessory Residential Building is::	(a) 1.2m from a side or rear property line shared with a street; or					N/A					
		(b) 0.6m from a side or rear property line in all other cases.			SW		2.30	1.70				
					SE		1.20	0.60				
	NW				7.63	7.03						
	(2) The min. building setback for an Accessory Residential Building that does not share a side or rear property line with a street may be reduced to 0.0m when:	(a) the Accessory Residential Building is less than 10.0m <sup>2</sup>					C	N/C	N/A	N/I		
							C	N/C	N/A	N/I		
		(c) the owner of the adjacent parcel grants a 1.5m private maintenance easement that must:			(i) be registered against the title of the parcel proposed for development and the title of the adjacent parcel; and		C		N/C	N/A	N/I	
												(ii) include a 0.60m eave and footing encroachment easement.
							C	N/C	N/A	N/I		
							C	N/C	N/A	N/I		
							C	N/C	N/A	N/I		
							C	N/C	N/A	N/I		
	(3) An Accessory Residential Building must not be located in the actual front setback area.						C	N/C	N/A	N/I		
	(4) A private garage on laneless parcel may be located in required 3.0m side setback, except along street side of a corner parcel.						C	N/C	N/A	N/I		
	(5) The min. distance between any façade of an Accessory Residential Building 10.0m <sup>2</sup> or more and a main residential building or a building containing a Secondary Suite is 1.0 m.						C	N/C	N/A	N/I		
	(6) The height of an Accessory Residential Building must not exceed:	(a) 4.6m, measured from the finished floor of the building;					2.97		-1.63			
							2.92		-0.08			
		(b) 3.0m at any eaveline, when measured from the finished floor of the building; and					C		N/C	N/A	N/I	
							C		N/C	N/A	N/I	
(c) one storey, which may include an attic space that:			(i) is accessed by a removable ladder;		C		N/C	N/A	N/I			
										(ii) does not have windows;		
			(iv) has a max. height of 1.5m from the attic floor to the underside of any rafter.		N/A							
346 Restrictions on Use of Accessory Residential Building	(1) The finished floor of an Accessory Residential Building, other than a private garage, must not exceed 0.6m above grade.						C	N/C	N/A	N/I		
	(2) An Accessory Residential Building must not be used as a Dwelling Unit, unless a Backyard Suite has been approved.						C	N/C	N/A	N/I		
	(3) An Accessory Residential Building must not have a balcony or rooftop deck.						C	N/C	N/A	N/I		
	(4) The area of a parcel covered by all Accessory Residential Buildings located on a parcel:	(a) must not exceed the less of:		(i) the building coverage of the main residential buildings; or				C	N/C	N/A	N/I	
				(ii) 75.0m <sup>2</sup> for each Dwelling Unit located on the parcel; and				66.79		-8.21		

Page 5

Secondary Suite

D.P. #

Rule

Requirements

Notes

Evaluation

Provided/Variance

Note: Remember to check any applicable district rules

352 Backyard Suite	(1) For a Backyard Suite, the minimum building setback from a rear property line is:	(a) 1.5m for any portion of the building used as a Backyard Suite; and		SW	2.30	0.80		
		(b) 0.6m for any portion of the building used as a private garage.						
	(2) Unless otherwise specified in the district, for a Backyard Suite, the minimum building setback from a side property line is 1.2m for any portion of the building used as a Backyard Suite.		SE	1.20	0.00			
			NW	7.63	6.43			
	(3) Unless otherwise referenced in subsections (3.1) and (3.2), a minimum separation of 5.0m is required between the closest façade of the main residential building to the closest façade of a Backyard Suite.			N/A				
	(3.1) The minimum façade separation in subsection (3) may be reduced to 1.5m where amenity space is provided at grade that:			4.52	3.02			
	(a) is adjacent to the main residential building and the Backyard Suite; and							
	(b) has no dimension less than 5.0m.							
	(3.2)(a) Where portions of a Backyard Suite meet the requirements of subsection (b) these portions may project:	(i) into a setback area from a property line shared with a street or a lane to a minimum building setback of 0.6m from the shared property line; and			N/A			
		(ii) 0.6m into a minimum separation area required in subsection (3) or the amenity space required in subsection (3.1);			N/A			
	(3.2)(b) Projections in subsection (a) must:	(i) not exceed 40% of the length of the façade on each storey for the total combined length of all projections;			%	Length	%	Length
		1st st		X 40% =		N/A		
		2nd st		X 40% =				
		__st		X 40% =				
		(ii) each contain a window; and			C	N/C	N/A	N/I
		(iii) each have a maximum length of 3.1m			N/A			
	(4) Unless otherwise referenced in subsection (4.1), the maximum building height for a Backyard Suite is 7.5m.			Complies		#VALUE!		

Page 6

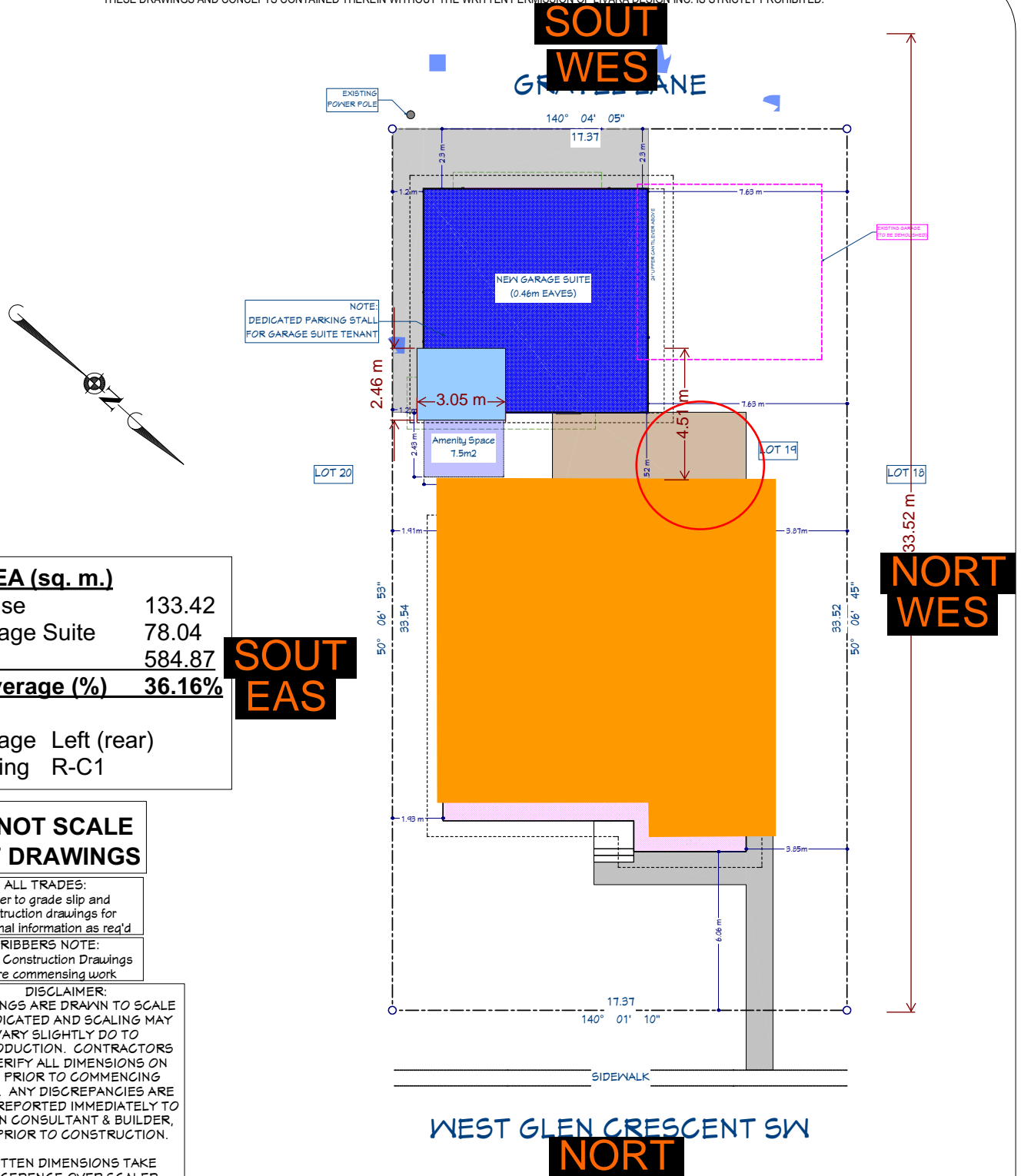
Page 6	(4.1) The maximum building height for a Backyard Suite is:	(a) 5.0m measured from grade at a side property line shared with a parcel designated with a low density residential district;		(c) increases at a 45 degree angle to a maximum of 7.5m at a proportional distance from the shared property line.	SE	C	N/C	N/A	N/I
		(b) 3.0m measured from grade at a rear property line shared with a parcel designated with a low density residential district; and				C	N/C	N/A	N/I
	(5) The maximum floor area of a Backyard Suite, excluding any area covered by stairways and internal landings not exceeding 2.5m <sup>2</sup> , is 75m <sup>2</sup> .					74.13		-0.87	
	(7) A Backyard Suite must have a private amenity space that:	(a) is located outdoors; and			C	N/C	N/A	N/I	
		(b) has a minimum area of 7.5m2 with no dimension less than 1.5m.			Dimension (m)				
					2.43		0.93		
					Area (m <sup>2</sup> )				
				7.50		0.00			
(8) A Backyard Suite may include a balcony where the balcony:	(a) projects from a façade that faces a property line shared with a lane or a street; or			C	N/C	N/A	N/I		
	(b) includes a privacy wall that screens the balcony from a property line shared with a parcel designated with low density residential district where:	(i) the balcony is setback less than 4.0m from the shared property line; and		C	N/C	N/A	N/I		
		(ii) the privacy wall is a minimum of 2.0m in height and a maximum of 3.0m in height.							
(9) A balcony attached to a Backyard Suite may project into a required setback area from a property line shared with a street or a lane to a minimum setback of 0.6m from the property line.					N/A				

354 Accessory Suite - Density	(1) Unless otherwise referenced in subsection (4), there must not be more than one Backyard Suite located on a parcel.				C	N/C	N/A	N/I
	(1.1) There must not be more than one Secondary Suite contained within a Dwelling Unit.				C	N/C	N/A	N/I
	(2) Unless otherwise referenced in subsection (4), a Secondary Suite and a Backyard Suite must not be located on the same parcel.				C	N/C	N/A	N/I
	(3) A Secondary Suite or Backyard Suite must not be separated from the main residential use on a parcel by the registration of a condominium or subdivision plan.				C	N/C	N/A	N/I
	(4) In the R-CG District, one Backyard Suite or one Secondary Suite may be located on a bare land unit containing a Dwelling Unit.				C	N/C	N/A	N/I

546 Motor Vehicle Parking Stalls Applies to R-CG Only	(2) The minimum number of motor vehicle parking stalls for a Secondary Suite is reduced to 0.0 where:	(a) the floor area of a Secondary Suite is 45.0m <sup>2</sup> or less.			C	N/C	N/A	N/I	
		(b) the parcel is located within 600.0m of an existing or approved capital funded LRT platform or within 150.0m of frequent bus service; and			C	N/C	N/A	N/I	
	All Rules are COMPULSORY	(c) space is provided in a building for the occupant of the Secondary Suite for storage of mobility alternatives such as bicycles or strollers that:	(i) is accessed directly from the exterior; and			C	N/C	N/A	N/I
			(ii) has an area of 2.5m <sup>2</sup> or more for every Secondary Suite that is not provided with a motor vehicle parking stall.			C	N/C	N/A	N/I
			NOTE: Parcel coverage excludes the building coverage area of the mobility						

			alternative storage space.							
153.1 Backyard Suite	(c) requires a minimum of 1.0 motor vehicle parking stall.				1		0			
122 Standards for Motor Vehicle Parking Stalls	(3) The minimum depth of a motor vehicle parking stall is 5.9m where it is required for: (a) a Contextual Single Detached Dwelling, Duplex Dwelling, Secondary Suite, Semi-detached Dwelling or Single Detached Dwelling				C	N/C	N/A	N/I		
	(4) The minimum width of a motor vehicle parking stall required for a Dwelling Unit is: (a) 3.0m where both sides of a stall abut a physical barrier; (b) 2.85m where one side of a stall abuts a physical barrier; and (c) 2.5m in all other cases.				C	N/C	N/A	N/I		
	(15) Motor vehicle parking stalls for a Backyard Suite, Contextual Semi-detached Dwelling, Contextual Single Detached Dwelling, Duplex Dwelling, Secondary Suite, Semi-detached Dwelling and Single Detached Dwelling must be: (a) hard surfaced; and (b) located wholly on the subject parcel.				C	N/C	N/A	N/I		
	539 Building Setback from Side Property Line Applies to R-CG Only	(6) For a Backyard Suite the minimum building setback from a side property line may be reduced to zero metres where:	(a) the accessory residential building or Backyard Suite on the adjacent parcel has a setback of 0.1 metres or less at the shared side property line for any portion of the building that is recessed 0.6 metres or greater from the front façade or the rear facade of the building and is setback less than 0.6 metres from the side property line;		C	N/C	N/A	N/I		
			(b) the building setback is not greater than 0.1 metres from the side property line for any portion of a building that is recessed 0.6 metres or greater from the front façade or the rear façade of the building and is setback less than 1.2 metres from the side property line;		C	N/C	N/A	N/I		
			(c) the wall at the shared side property line is constructed of maintenance-free materials and there is no overhang of eaves onto an adjacent parcel; and		C	N/C	N/A	N/I		
			(d) all roof drainage from the building is discharged through eavestroughs and downspouts onto the parcel on which the building is located.		C	N/C	N/A	N/I		
		547.13 Building Height Applies to R-G Only	(2) The maximum height of a Backyard Suite on a laned parcel is 10.0 metres.				C	N/C	N/A	N/I
Additional Notes										

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PROJECT NUMBER:

LOT 19  
BLOCK 03  
PL 4994HN

DESIGN FOR:

XXX RESIDENCE

5 WEST GLEN CRESCENT SW

DRAWN BY:  
ZR

DATE:  
10/14/2021

SCALE:  
1:200 (metric)

FILE NAME:  
GARAGE SUITE

PLOT PLAN



**LIVARA DESIGN**  
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SHEET

1

1

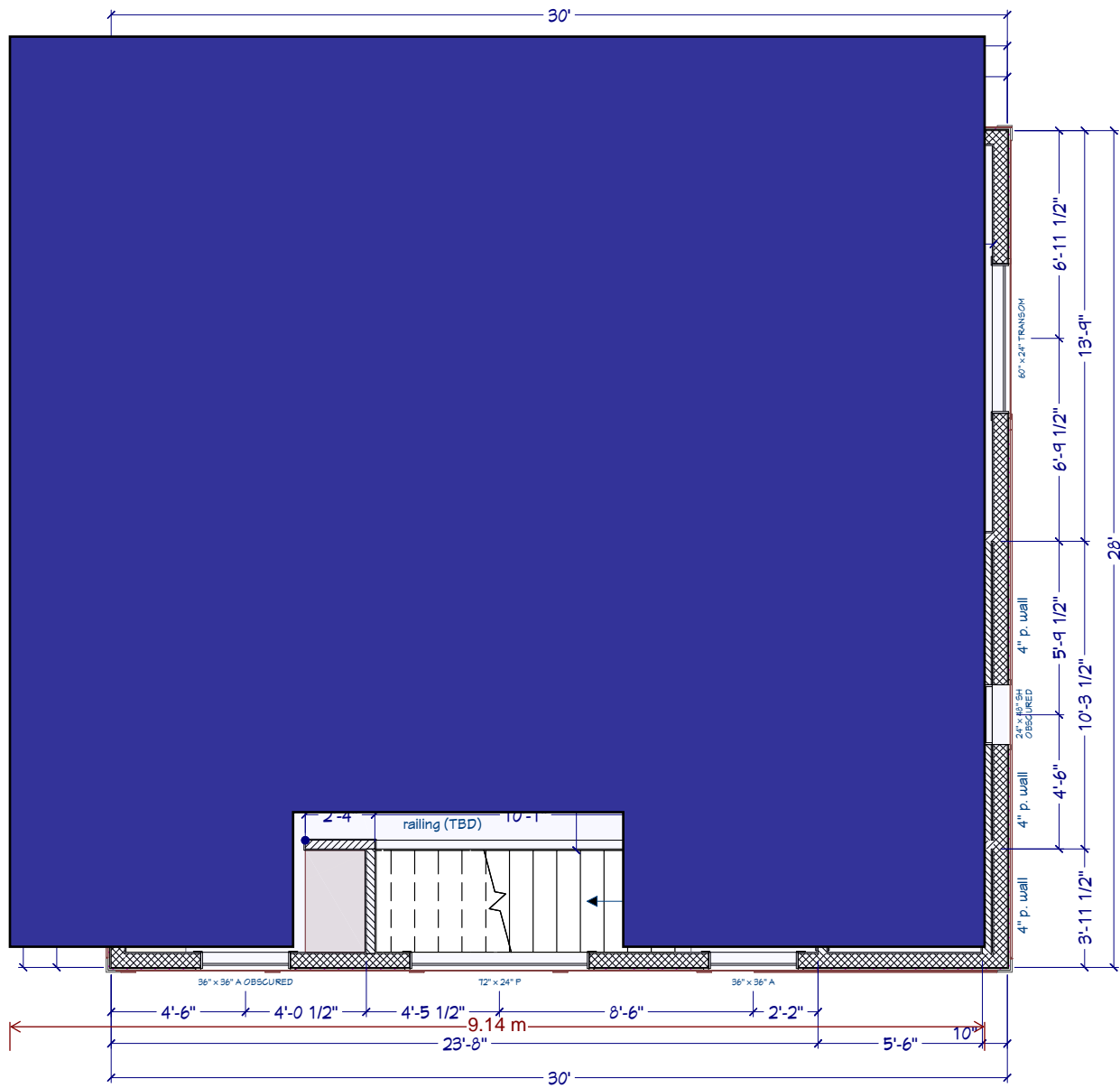
GENERAL NOTES	
<p><b>GENERAL</b></p> <p>- DRAWINGS ARE DRAWN TO SCALE AS INDICATED AND SCALING MAY VARY SLIGHTLY DUE TO REPRODUCTION. CONTRACTORS TO VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCING WORK. ANY DISCREPANCIES SHOULD BE REPORTED IMMEDIATELY TO LIVARA DESIGN INC. AND PRIOR TO CONSTRUCTION.</p> <p>- WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS</p> <p><b>FOUNDATIONS</b></p> <p>- FOOTINGS TO REST ON NATIVE, UNDISTURBED SOIL</p> <p>- FINAL EXTERIOR GRADES MAY VARY FROM THOSE SHOWN IN DRAWINGS. CONTRACTORS TO VERIFY PRIOR TO POURING ANY FOUNDATIONS.</p> <p>- ALL CONCRETE PAD FOOTINGS AND PILES TO BE VERIFIED BY STRUCTURAL ENGINEER TO MEET SOIL CONDITIONS OF THE BUILDING SITE.</p> <p><b>STRUCTURAL</b></p> <p>- TRUSS MANUFACTURER TO PROVIDE TRUSS LAYOUT AND VERIFY ALL ROOF SLOPES. TRUSSES ARE TO BE DESIGNED TO THE CURRENT EDITION OF THE BUILDING CODE AND BEAR THE SEAL OF A PROFESSIONAL ENGINEER LICENSED TO PRACTICE WITHIN ALBERTA.</p> <p>- ALL BEAMS AND LINTELS AS PER THE ALBERTA BUILDING CODE APPLICABLE TABLES.</p> <p>- JOIST SUPPLIER TO PROVIDE FLOOR LAYOUTS AND ENGINEERING FOR FLOOR SYSTEM.</p>	<p><b>FRAMING</b></p> <p>- ALL FRAMING TO BE S.P.F. #2 OR BETTER AS PER PLAN.</p> <p>- DIMENSIONS ARE FROM OUTSIDE FACE OF EXTERIOR SHEATHING TO FACE OF PARTITION WALL STUDS UNLESS NOTED OTHERWISE.</p> <p><b>DOORS AND WINDOWS</b></p> <p>- DOOR AND WINDOW SIZES SHOWN ARE TO BE VERIFIED BY MANUFACTURER. EXACT ROUGH OPENINGS TO BE SUPPLIED BY MANUFACTURER PRIOR TO CONSTRUCTION.</p> <p>- WINDOW MANUFACTURER TO ENSURE ALL WINDOWS SUPPLIED TO COMPLY WITH NAFS REQUIREMENTS.</p> <p>MINIMUM PERFORMANCE GRADE 30 MIN. POSITIVE DESIGN PRESSURE 1440PA MIN. NEGATIVE DESIGN PRESSURE 1440PA MIN. WATER PENETRATION PRESSURE 330PA MIN. CANADIAN AIR INFILTRATION A2</p> <p>ALL REQUIREMENTS CALCULATED AS PER <a href="http://WWW.FENESTRATIONCANADA.CA">WWW.FENESTRATIONCANADA.CA</a> ONLINE CALCULATOR FOR WINDOW WITHIN 10mm OF GRADE ON OPEN TERRAIN TYPE. MANUFACTURER CALCULATIONS TO SUPERCEDE ARCHITECTURAL DRAWINGS.</p> <p>- MAXIMUM U VALUE FOR ALL WINDOWS TO BE 2.0</p> <p><b>MECHANICAL</b></p> <p>- MECHANICAL LAYOUT AND SPECS. SUPPLIED BY MECHANICAL CONTRACTOR.</p> <p>- IT IS THE RESPONSIBILITY OF THE MECHANICAL CONTRACTOR TO ENSURE THAT ALL MECHANICAL SYSTEMS COMPLY WITH MANUFACTURERS INSTRUCTIONS AND CONFORM WITH ALL APPLICABLE NATIONAL, PROVINCIAL AND LOCAL BUILDING CODES.</p> <p><b>ELECTRICAL</b></p> <p>- ELECTRICAL LAYOUT SHOWN IS TO BE USED AS A GUIDELINE ONLY. IT IS THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR TO ENSURE THAT DESIGN AND SYSTEMS COMPLY WITH MANUFACTURERS INSTRUCTIONS AND CONFORM WITH ALL APPLICABLE NATIONAL, PROVINCIAL AND LOCAL BUILDING CODES.</p>



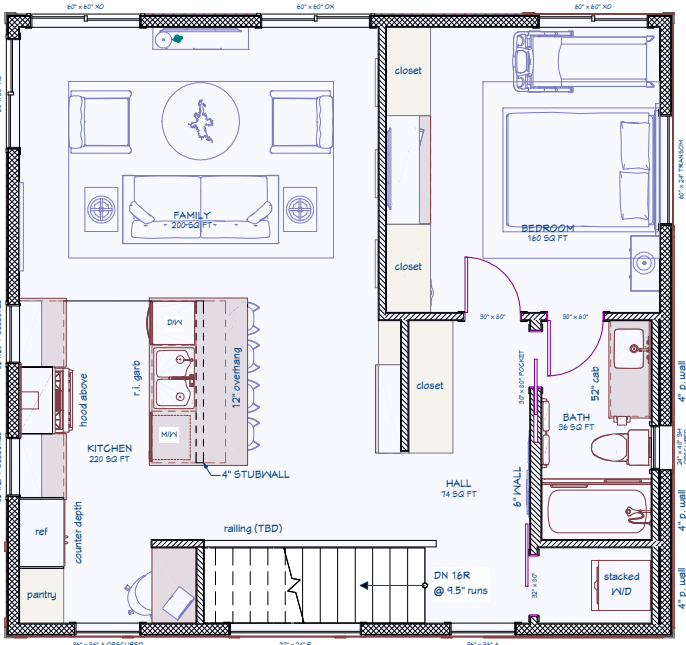
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5 WEST GLEN CRESCENT SW  
CALGARY, AB  
10/14/2021



2ND FLR SQ.FT. = 799 (not incl. stairs)  
TOTAL DEVELOPED  
SQ. FT. = 799  
GARAGE SQ.FT. = 784  
STAIRS = 43  
STORAGE = 80



ELECTRICAL - DATA - AUDIO LEGEND	
SYMBOL	DESCRIPTION
	Ceiling Fan
	Ventilation Fans: Ceiling Mounted, Wall Mounted
	Ceiling Mounted Light Fixtures: Surface/Pendant, Recessed, Heat Lamp, Low Voltage
	Wall Mounted Light Fixtures: Flush Mounted, Wall Sconce
	Chandelier Light Fixture
	Fluorescent Light Fixture
	240V Receptacle
	110V Receptacles: Duplex, Weather Proof, GFCI
	Switches: Single Pole, Weather Proof, 3-Way, 4-Way
	Switches: Dimmer, Timer
	Audio Video: Control Panel, Switch
	Speakers: Ceiling Mounted, Wall Mounted
	Wall Jacks: CAT5, CAT5 + TV, TV/Cable
	Telephone Jack
	Intercom
	Thermostat
	Door Chime, Door Bell Button
	Smoke Detectors: Ceiling Mounted, Wall Mounted
	Electrical Breaker Panel

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DO NOT SCALE OFF DRAWINGS

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WORK. ANY DISCREPANCIES ARE  
TO BE REPORTED IMMEDIATELY TO  
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AND PRIOR TO CONSTRUCTION.

NOTE:  
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PLACEMENT  
FOR PRESENTATION PURPOSE  
ONLY

NOTE:  
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ONLY; EXACT CONSTRUCTION &  
DESIGN WILL BE DETERMINED BY  
THE EXISTING CONDITIONS ON SITE

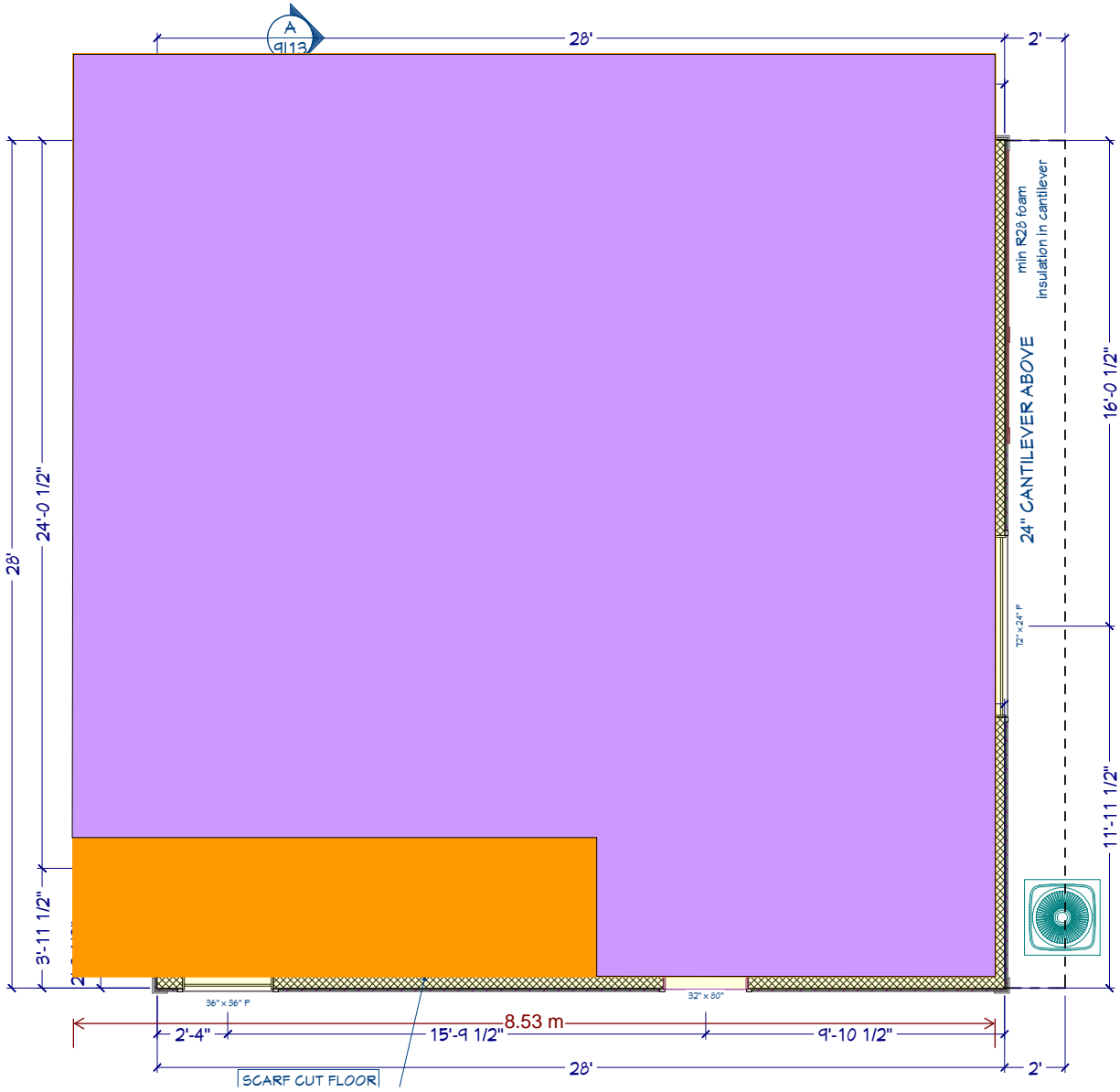
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SHEET  
2  
14

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DESIGN FOR	SCALE:	TBD
PROJECT NUMBER:	DRAWN BY:	Z. RATHGEBER
	DATE:	10/14/2021
	FILE NAME:	Version 3
	VIEW:	PROPOSED UPPER FLOOR
		XXX RESIDENCE
		5 WEST GLEN CRESCENT SW



MAIN FLOOR PLAN  
3/16" = 1'-0"

MAIN FLOOR ELECTRICAL  
1/8" = 1'-0"

ELECTRICAL - DATA - AUDIO LEGEND	
SYMBOL	DESCRIPTION
	Ceiling Fan
	Ventilation Fans: Ceiling Mounted, Wall Mounted
	Ceiling Mounted Light Fixtures: Surface/Pendant, Recessed, Heat Lamp, Low Voltage
	Wall Mounted Light Fixtures: Flush Mounted, Wall Sconce
	Chandelier Light Fixture
	Fluorescent Light Fixture
	240V Receptacle
	110V Receptacles: Duplex, Weather Proof, GFCI
	Switches: Single Pole, Weather Proof, 3-Way, 4-Way
	Switches: Dimmer, Timer
	Audio Video: Control Panel, Switch
	Speakers: Ceiling Mounted, Wall Mounted
	Wall Jacks: CAT5, CAT5 + TV, TV/Cable
	Telephone Jack
	Intercom
	Thermostat
	Door Chime, Door Bell Button
	Smoke Detectors: Ceiling Mounted, Wall Mounted
	Electrical Breaker Panel

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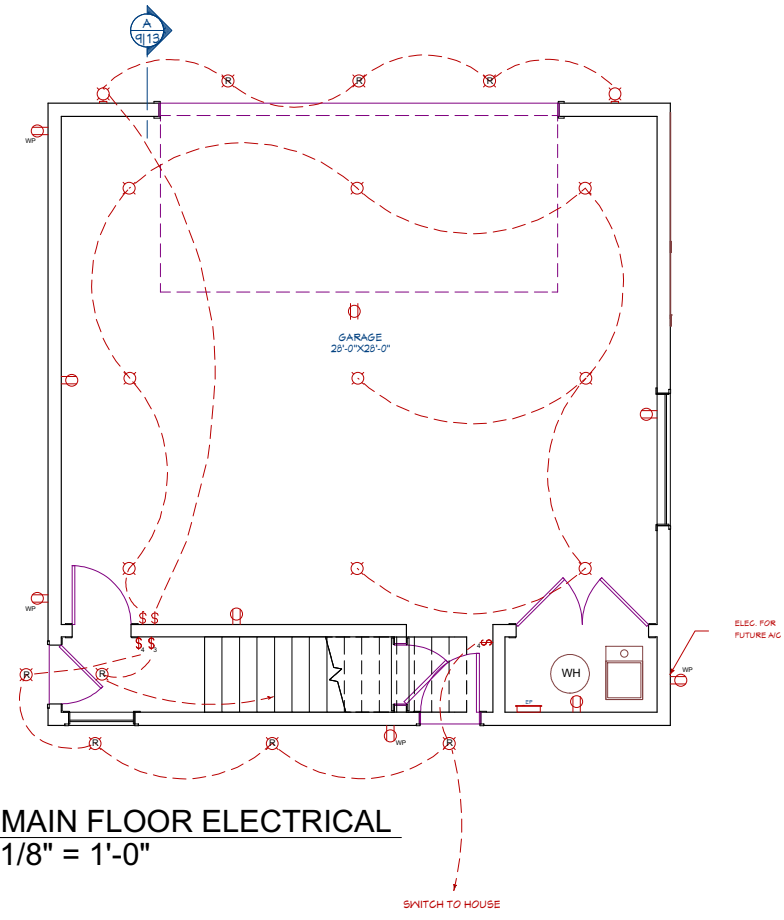
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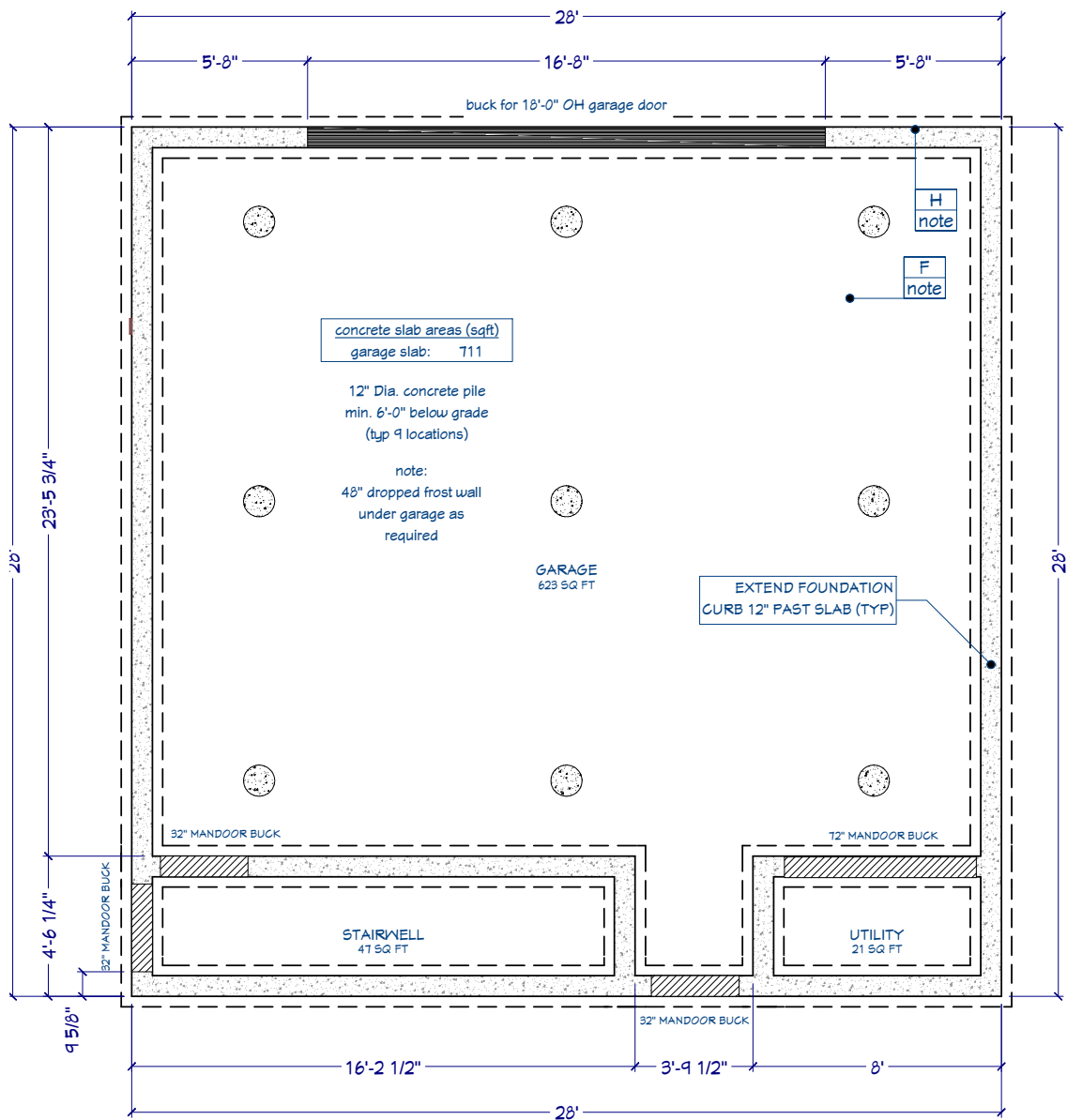


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3  
14

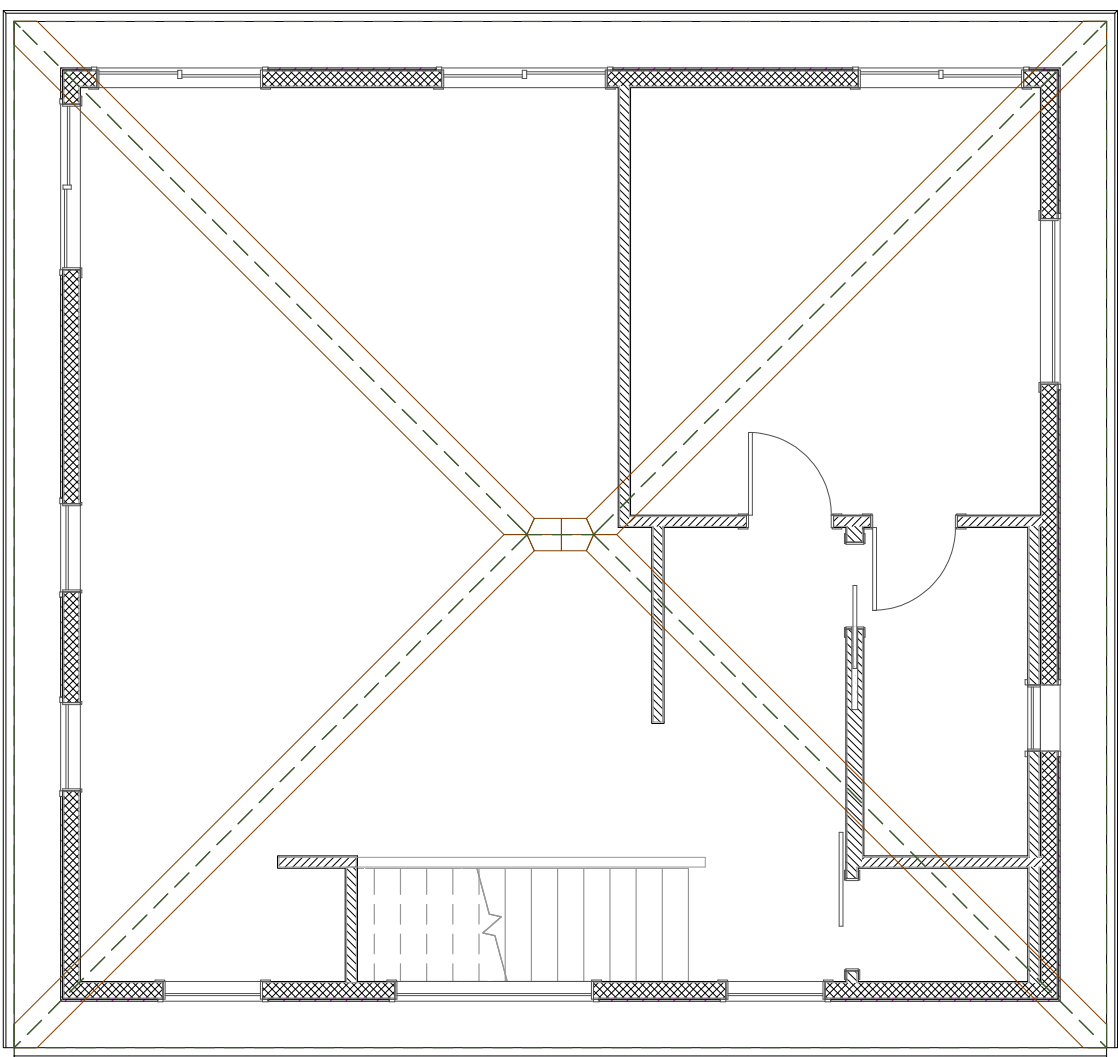
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DESIGN FOR	SCALE: TBD
DRAWN BY: Z. RATHGEBER	FILE NAME: Version 3
DATE: 10/14/2021	VIEW: PROPOSED MAIN
PROJECT NUMBER: ---	XXX RESIDENCE
	5 WEST GLEN CRESCENT SW



FOUNDATION PLAN  
3/16" = 1'-0"



ROOF PLAN  
3/16" = 1'-0"

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SITE PRIOR TO COMMENCING  
WORK. ANY DISCREPANCIES ARE  
TO BE REPORTED IMMEDIATELY TO  
DESIGN CONSULTANT & BUILDER,  
AND PRIOR TO CONSTRUCTION.

NOTE:  
FURNITURE AND FURNITURE  
PLACEMENT  
FOR PRESENTATION PURPOSE  
ONLY

NOTE:  
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ONLY; EXACT CONSTRUCTION &  
DESIGN WILL BE DETERMINED BY  
THE EXISTING CONDITIONS ON SITE

NOTE:  
WRITTEN DIMENSIONS TAKE  
PRECEDENCE OVER SCALED  
DIMENSIONS.

ALL DIMENSIONS ARE MEASURED FROM FRAMING TO FRAMING

DO NOT SCALE OFF DRAWINGS

SHEET  
4  
14

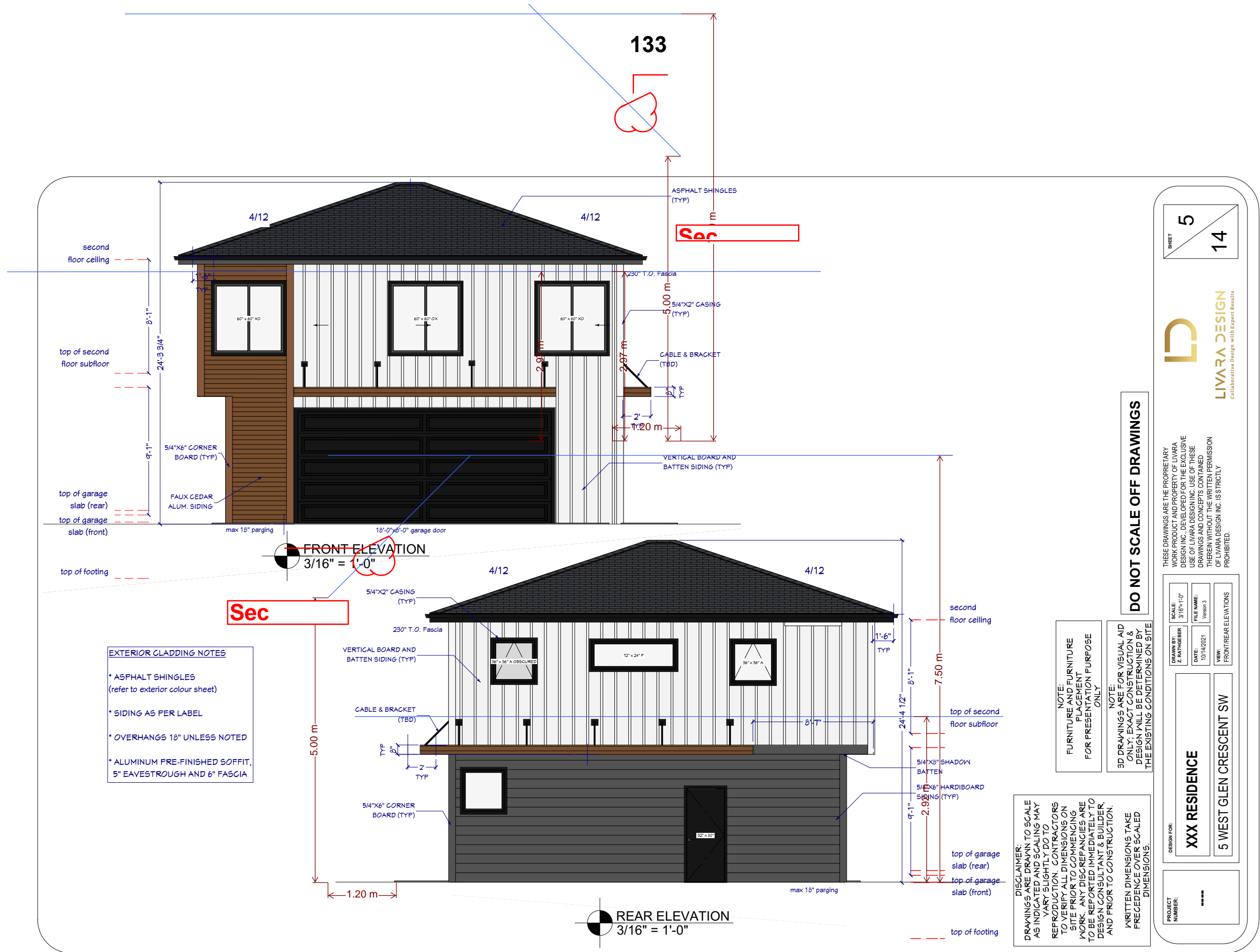
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DRAWN BY:  
Z. RATHGEBER  
SCALE:  
3/16"=1'-0"  
DATE:  
10/14/2021  
FILE NAME:  
Version 3  
VIEW:  
PROPOSED FOUNDATION/ROOF PLAN

DESIGN FOR  
**XXX RESIDENCE**  
**5 WEST GLEN CRESCENT SW**

PROJECT  
NUMBER:  
---



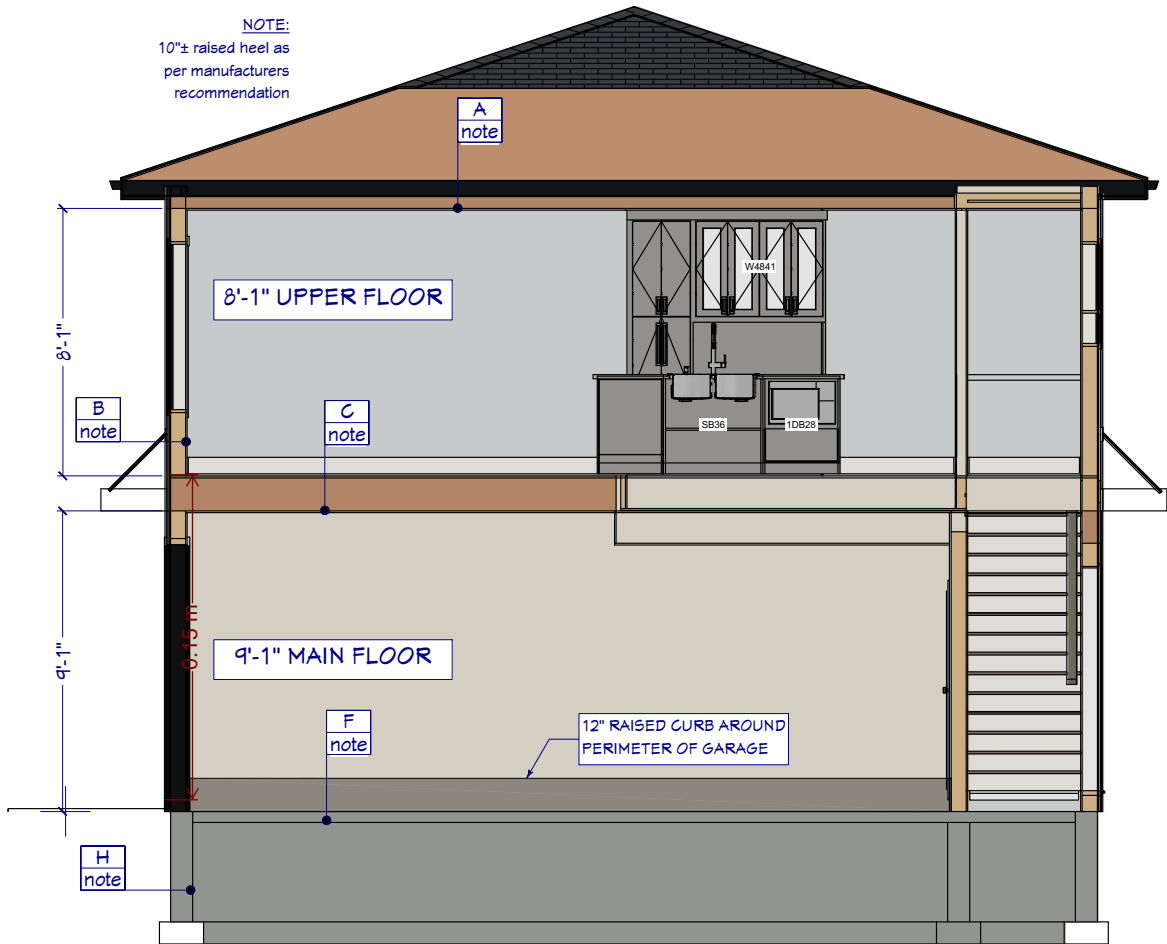


SHEET  
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14

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DESIGN FOR	SCALE: 3/16" = 1'-0"	DRAWN BY: Z. RATHGEBER	DATE: 10/14/2021	FILE NAME: Version 3	VIEW: RIGHT/LEFT ELEVATIONS
PROJECT NUMBER: ---	XXX RESIDENCE				
	5 WEST GLEN CRESCENT SW				



GENERAL NOTES:

- Attic Access to be Weatherstripped & sprayfoam Insulated
- Attic Ventilation to conform to ABC 9.19.1.1
- All stair handrails & guards to conform to ABC 9.8.7 @ 9.8.8
- All construction details & procedures to conform to current ABC
- Valley Flashing as req'd
- Site dimensions & electrical locations may vary from plans
- Final site grades may alter exterior appearance
- Loads indicated on plans and/or engineering are in Working Stress
- Unfactored loads on teleposts
- Caulking provisions as required by current ABC

FRAMING NOTES:

- Load and Non Load Bearing Interior Walls to be @ 16" O.C.
- All Exterior Walls to be 2x6 @ 24" O.C.
- 3/4" spacing req'd between stringer and all walls on stairs
- Floors to be glued & screwed
- All exterior lintels to be 2-2x10 #2 SFR or better, unless noted
- Wood deck to have railings as req'd by ABC Current Edition if Applicable
- Refer to construction notes for additional information
- A gap of not less than 2mm shall be left between sheets of plywood, OSB, waferboard or fiberboard

(B note) EXTERIOR WALL CONSTRUCTION:

- Exterior Finish
- Building Paper
- 3/8" OSB Sheathing
- 2x6 Studs @ 24" O.C.
- R20 Insulation
- Vapour Barrier
- 1/2" Drywall Finish

(C note) FLOOR CONSTRUCTION:

- Finished as specified
- 3/4" OSB Subfloor
- 14" Engineered Joists (refer to manufacturers layouts for spacing)
- 9 1/2" Engineered Joists for deck (refer to manufacturers layouts for spacing)

CRIBBING NOTES:

- Step Conc. Wall as grades and elevation allow
- Add 1x4 nailers @ 24" O.C. (siding/wire support) as req'd
- Maximum 18" Parging
- Refer to Engineering for additional information

(A note) ROOF CONSTRUCTION:

- Roofing Material
- 3/8" ASB clw 'H' Clips
- Approved Wood Trusses @ 24" O.C. (refer to Manufacturer Layout)
- R55 Insulation
- Vapour Barrier (6 Mil)
- 1/2" Drywall Ceiling

(F note) GARAGE FLOOR CONSTRUCTION:

- 4" Concrete Slab
- 8" Compacted Gravel
- Slope slab 4"

(H note) FROST WALL CONSTRUCTION:

- 8" Concrete Wall
- 16"x6" Conc. Footing under Garage
- 24"x8" Conc. Footing under House
- Min. 4'-0" below Grade as per Engineer

DISCLAIMER:  
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WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.

NOTE:  
FURNITURE AND FURNITURE PLACEMENT FOR PRESENTATION PURPOSE ONLY

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DESIGN FOR	SCALE: 3/16"=1'-0"
PROJECT NUMBER: ---	DRAWN BY: Z. RATHGEBER
XXX RESIDENCE	DATE: 10/14/2021
5 WEST GLEN CRESCENT SW	VIEW: SECTION
	FILE NAME: Version 3

**Appeal Board rec'd: November 2, 2021**  
**Submitted by: D. Nelson, Applicant/Owner**

---

**From:** Dawna Nelson <gdaknelson@gmail.com>  
**Sent:** Tuesday, November 2, 2021 10:37 AM  
**To:** Calgary SDAB Info  
**Subject:** [EXT] SDAB2021-0052

Good morning!

Here is the document that you had difficulty opening, hopefully this version is successful for you.

Sincerely,

Dawna Nelson

We, the undersigned, are the neighbours around the proposed backyard suite located at 5 West Glen Crescent SW. We have reviewed the revised plans and have no objection/complaint for the development.

Print Name	Address	Signature	Date
GARRY T WURIE WOOPE	32 Wheatland Ave	<i>[Signature]</i>	OCT 19, 2021
HARVEY K FONG	24 Wheatland Ave	<i>[Signature]</i>	Oct. 20, 2021
Paul & Eva Harrigan	95 West Glen Cres.	<i>[Signature]</i>	Oct 19/2021
Judith Mascher	91 West Glen Cres.	<i>[Signature]</i>	Oct 19/2021

Sent from my iPhone

**Appeal Board Rec'd: November 2, 2021**  
**Submitted by: D. Nelson, Applicant**

---

**From:** Dawna Nelson <gdaknelson@gmail.com>  
**Sent:** Monday, November 1, 2021 1:35 PM  
**To:** Calgary SDAB Info  
**Subject:** [EXT] SDAB2021-0052  
**Attachments:** PLOT PLAN V6 DP.pdf; Neighbors consent.pages; Version 6 east side.pdf; DP\_No\_Conflict Nov 2021.pdf

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

Hello, the following is the new drawings for the proposed location, plot plan (green circles indicate 4 Aspens to be planted), letter of agreement signed by all surrounding neighbours affected by the move, and the compliance letter from Enmax. In a separate email I will forward communication from Telus regarding the move of the guy wire.

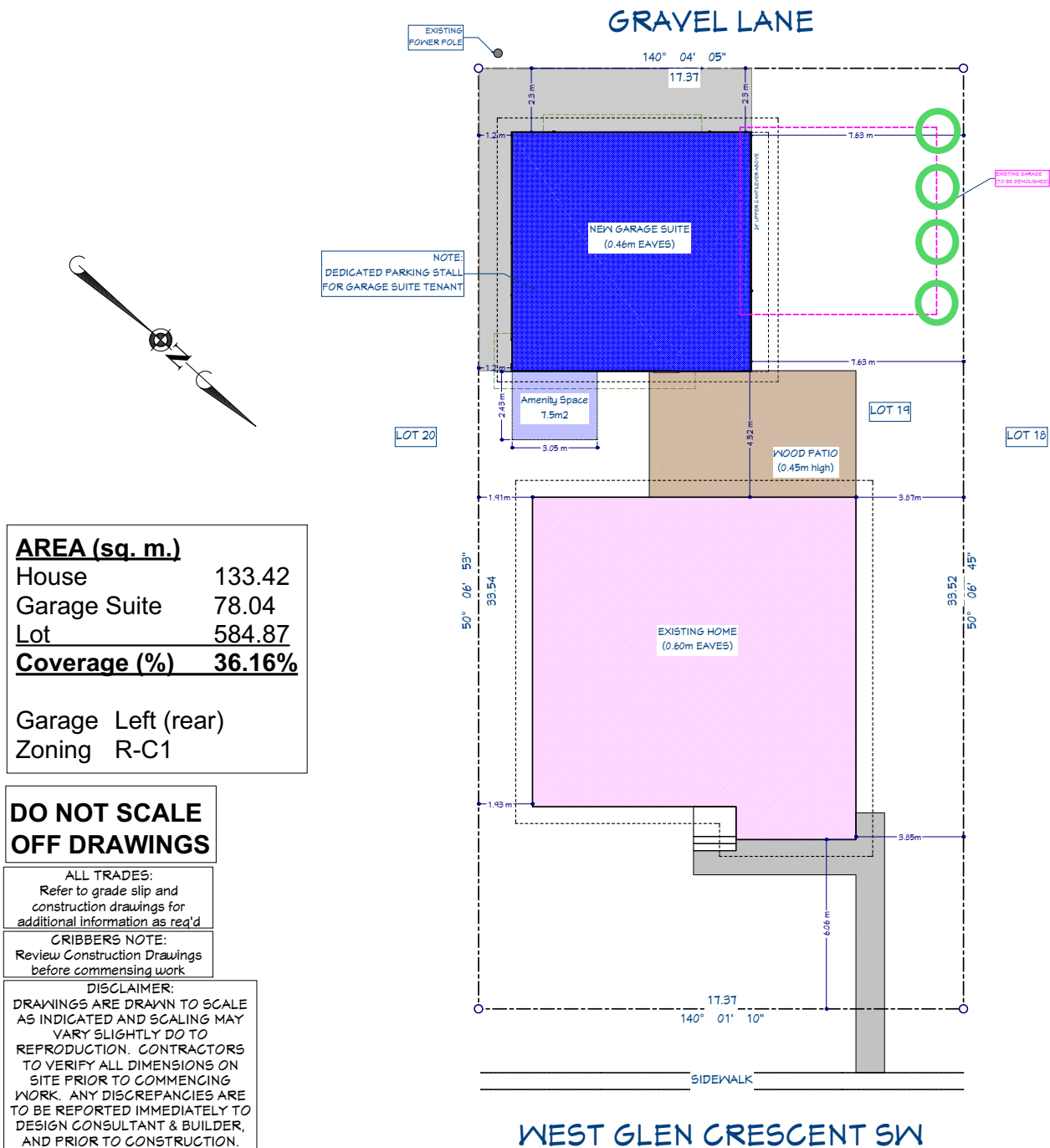
Please let us know if there is anything else we can supply, help or answer to make your decision.

Sincerely,

Dawna Nelson

Sent from my iPhone

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### AREA (sq. m.)

House	133.42
Garage Suite	78.04
Lot	584.87
<b>Coverage (%)</b>	<b>36.16%</b>

Garage Left (rear)  
Zoning R-C1

### DO NOT SCALE OFF DRAWINGS

ALL TRADES:  
Refer to grade slip and  
construction drawings for  
additional information as req'd

CRIBBERS NOTE:  
Review Construction Drawings  
before commencing work

DISCLAIMER:  
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AND PRIOR TO CONSTRUCTION.

WRITTEN DIMENSIONS TAKE  
PRECEDENCE OVER SCALED  
DIMENSIONS.

PROJECT  
NUMBER:

LOT 19  
BLOCK 03  
PL 4994HN

DESIGN FOR:

**XXX RESIDENCE**

5 WEST GLEN CRESCENT SW

DRAWN BY:  
ZR

SCALE:  
1:200 (metric)

DATE:  
10/14/2021

FILE NAME:  
GARAGE SUITE

PLOT PLAN



**LIVARA DESIGN**  
Collaborative Design with Expert Results

SHEET

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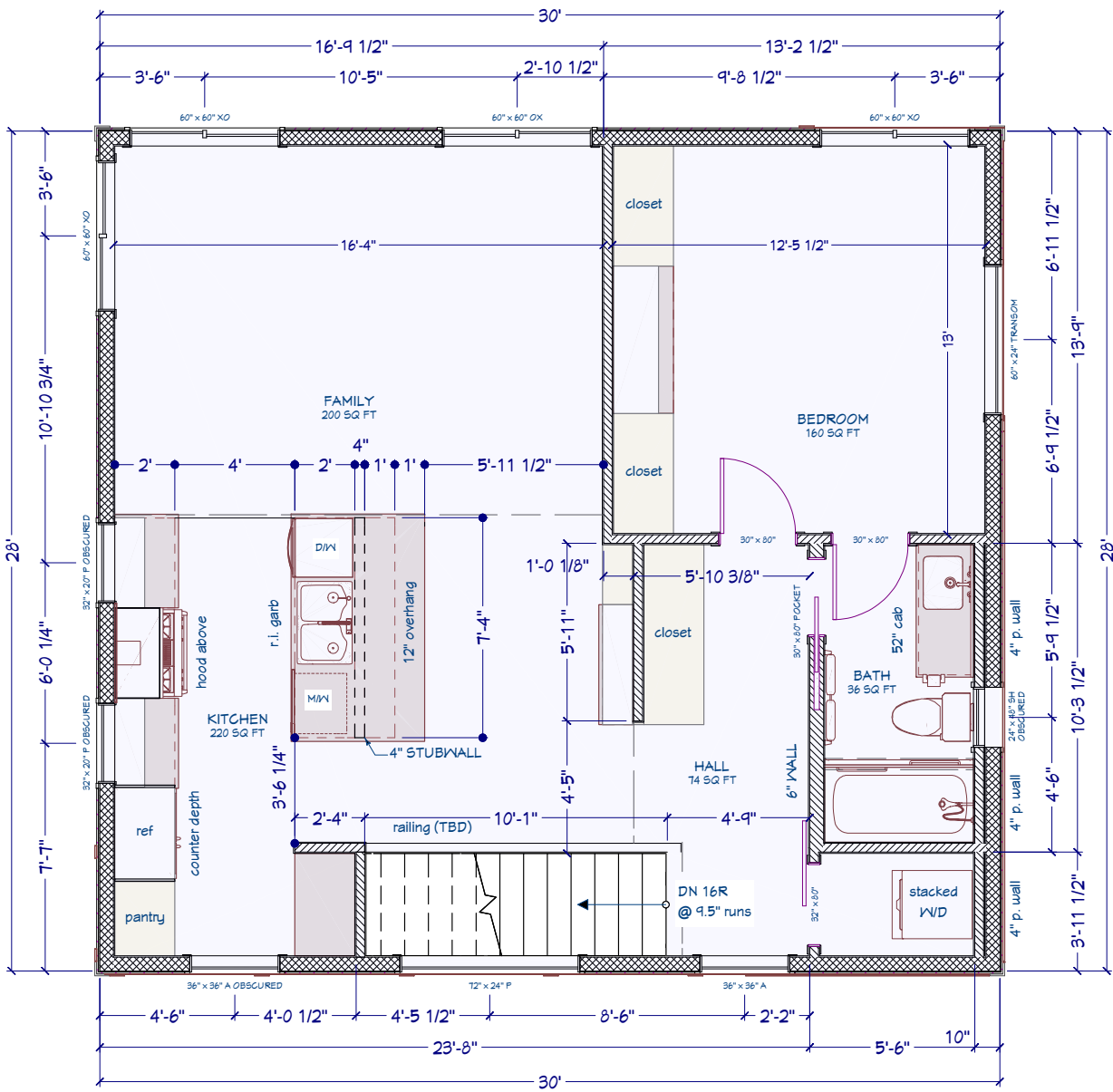
GENERAL NOTES	
<p><b>GENERAL</b></p> <p>- DRAWINGS ARE DRAWN TO SCALE AS INDICATED AND SCALING MAY VARY SLIGHTLY DUE TO REPRODUCTION. CONTRACTORS TO VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCING WORK. ANY DISCREPANCIES SHOULD BE REPORTED IMMEDIATELY TO LIVARA DESIGN INC. AND PRIOR TO CONSTRUCTION.</p> <p>- WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS</p> <p><b>FOUNDATIONS</b></p> <p>- FOOTINGS TO REST ON NATIVE, UNDISTURBED SOIL</p> <p>- FINAL EXTERIOR GRADES MAY VARY FROM THOSE SHOWN IN DRAWINGS. CONTRACTORS TO VERIFY PRIOR TO POURING ANY FOUNDATIONS.</p> <p>- ALL CONCRETE PAD FOOTINGS AND PILES TO BE VERIFIED BY STRUCTURAL ENGINEER TO MEET SOIL CONDITIONS OF THE BUILDING SITE.</p> <p><b>STRUCTURAL</b></p> <p>- TRUSS MANUFACTURER TO PROVIDE TRUSS LAYOUT AND VERIFY ALL ROOF SLOPES. TRUSSES ARE TO BE DESIGNED TO THE CURRENT EDITION OF THE BUILDING CODE AND BEAR THE SEAL OF A PROFESSIONAL ENGINEER LICENSED TO PRACTICE WITHIN ALBERTA.</p> <p>- ALL BEAMS AND LINTELS AS PER THE ALBERTA BUILDING CODE APPLICABLE TABLES.</p> <p>- JOIST SUPPLIER TO PROVIDE FLOOR LAYOUTS AND ENGINEERING FOR FLOOR SYSTEM.</p>	<p><b>FRAMING</b></p> <p>- ALL FRAMING TO BE S.P.F. #2 OR BETTER AS PER PLAN.</p> <p>- DIMENSIONS ARE FROM OUTSIDE FACE OF EXTERIOR SHEATHING TO FACE OF PARTITION WALL STUDS UNLESS NOTED OTHERWISE.</p> <p><b>DOORS AND WINDOWS</b></p> <p>- DOOR AND WINDOW SIZES SHOWN ARE TO BE VERIFIED BY MANUFACTURER. EXACT ROUGH OPENINGS TO BE SUPPLIED BY MANUFACTURER PRIOR TO CONSTRUCTION.</p> <p>- WINDOW MANUFACTURER TO ENSURE ALL WINDOWS SUPPLIED TO COMPLY WITH NAFS REQUIREMENTS.</p> <p>MINIMUM PERFORMANCE GRADE 30 MIN. POSITIVE DESIGN PRESSURE 1440PA MIN. NEGATIVE DESIGN PRESSURE 1440PA MIN. WATER PENETRATION PRESSURE 330PA MIN. CANADIAN AIR INFILTRATION A2</p> <p>ALL REQUIREMENTS CALCULATED AS PER WWW.FENESTRATIONCANADA.CA ONLINE CALCULATOR FOR WINDOW WITHIN 10mm OF GRADE ON OPEN TERRAIN TYPE. MANUFACTURER CALCULATIONS TO SUPERCEDE ARCHITECTURAL DRAWINGS.</p> <p>- MAXIMUM U VALUE FOR ALL WINDOWS TO BE 2.0</p> <p><b>MECHANICAL</b></p> <p>- MECHANICAL LAYOUT AND SPECS. SUPPLIED BY MECHANICAL CONTRACTOR.</p> <p>- IT IS THE RESPONSIBILITY OF THE MECHANICAL CONTRACTOR TO ENSURE THAT ALL MECHANICAL SYSTEMS COMPLY WITH MANUFACTURERS INSTRUCTIONS AND CONFORM WITH ALL APPLICABLE NATIONAL, PROVINCIAL AND LOCAL BUILDING CODES.</p> <p><b>ELECTRICAL</b></p> <p>- ELECTRICAL LAYOUT SHOWN IS TO BE USED AS A GUIDELINE ONLY. IT IS THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR TO ENSURE THAT DESIGN AND SYSTEMS COMPLY WITH MANUFACTURERS INSTRUCTIONS AND CONFORM WITH ALL APPLICABLE NATIONAL, PROVINCIAL AND LOCAL BUILDING CODES.</p>



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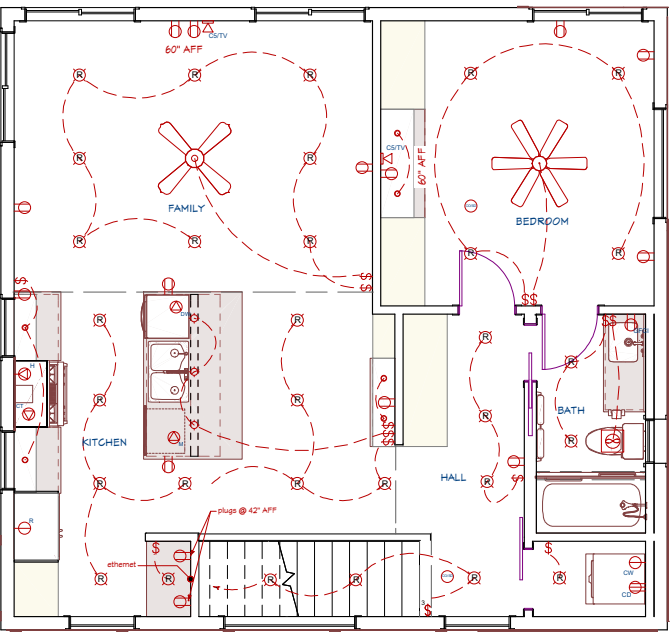
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5 WEST GLEN CRESCENT SW  
CALGARY, AB  
10/14/2021

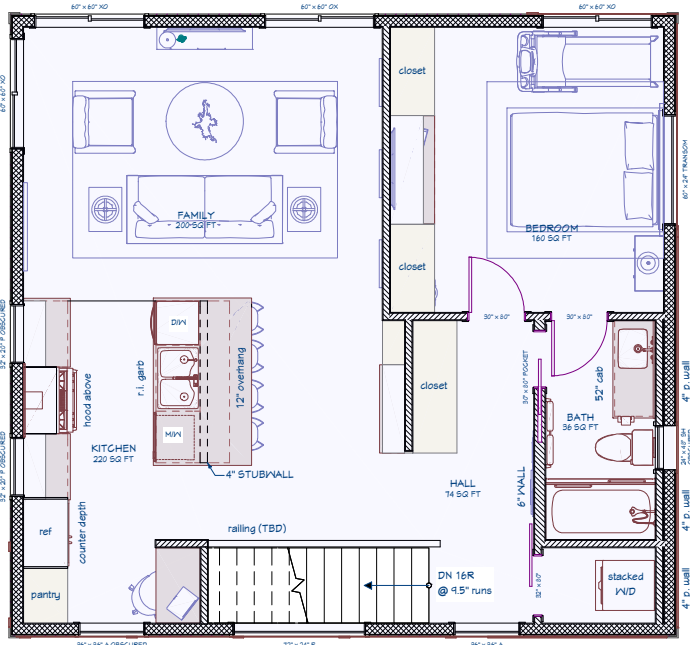


UPPER FLOOR PLAN  
3/16" = 1'-0"

2ND FLR SQ.FT. = 799 (not incl. stairs)  
TOTAL DEVELOPED  
SQ. FT. = 799  
GARAGE SQ.FT. = 784  
STAIRS = 43  
STORAGE = 80



UPPER FLOOR ELECTRICAL  
1/8" = 1'-0"



UPPER FLOOR FURNITURE  
1/8" = 1'-0"

ELECTRICAL - DATA - AUDIO LEGEND	
SYMBOL	DESCRIPTION
	Ceiling Fan
	Ventilation Fans: Ceiling Mounted, Wall Mounted
	Ceiling Mounted Light Fixtures: Surface/Pendant, Recessed, Heat Lamp, Low Voltage
	Wall Mounted Light Fixtures: Flush Mounted, Wall Sconce
	Chandelier Light Fixture
	Fluorescent Light Fixture
	240V Receptacle
	110V Receptacles: Duplex, Weather Proof, GFCI
	Switches: Single Pole, Weather Proof, 3-Way, 4-Way
	Switches: Dimmer, Timer
	Audio Video: Control Panel, Switch
	Speakers: Ceiling Mounted, Wall Mounted
	Wall Jacks: CAT5, CAT5 + TV, TV/Cable
	Telephone Jack
	Intercom
	Thermostat
	Door Chime, Door Bell Button
	Smoke Detectors: Ceiling Mounted, Wall Mounted
	Electrical Breaker Panel

DISCLAIMER:  
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NOTE:  
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PLACEMENT  
FOR PRESENTATION PURPOSE  
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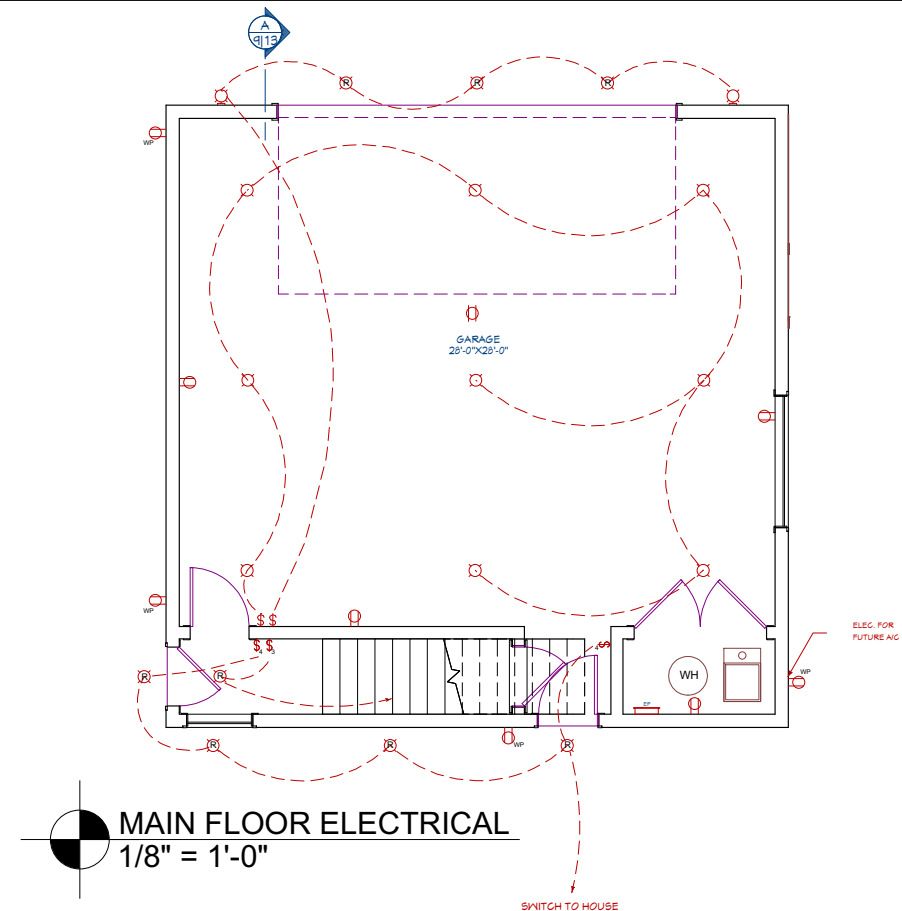
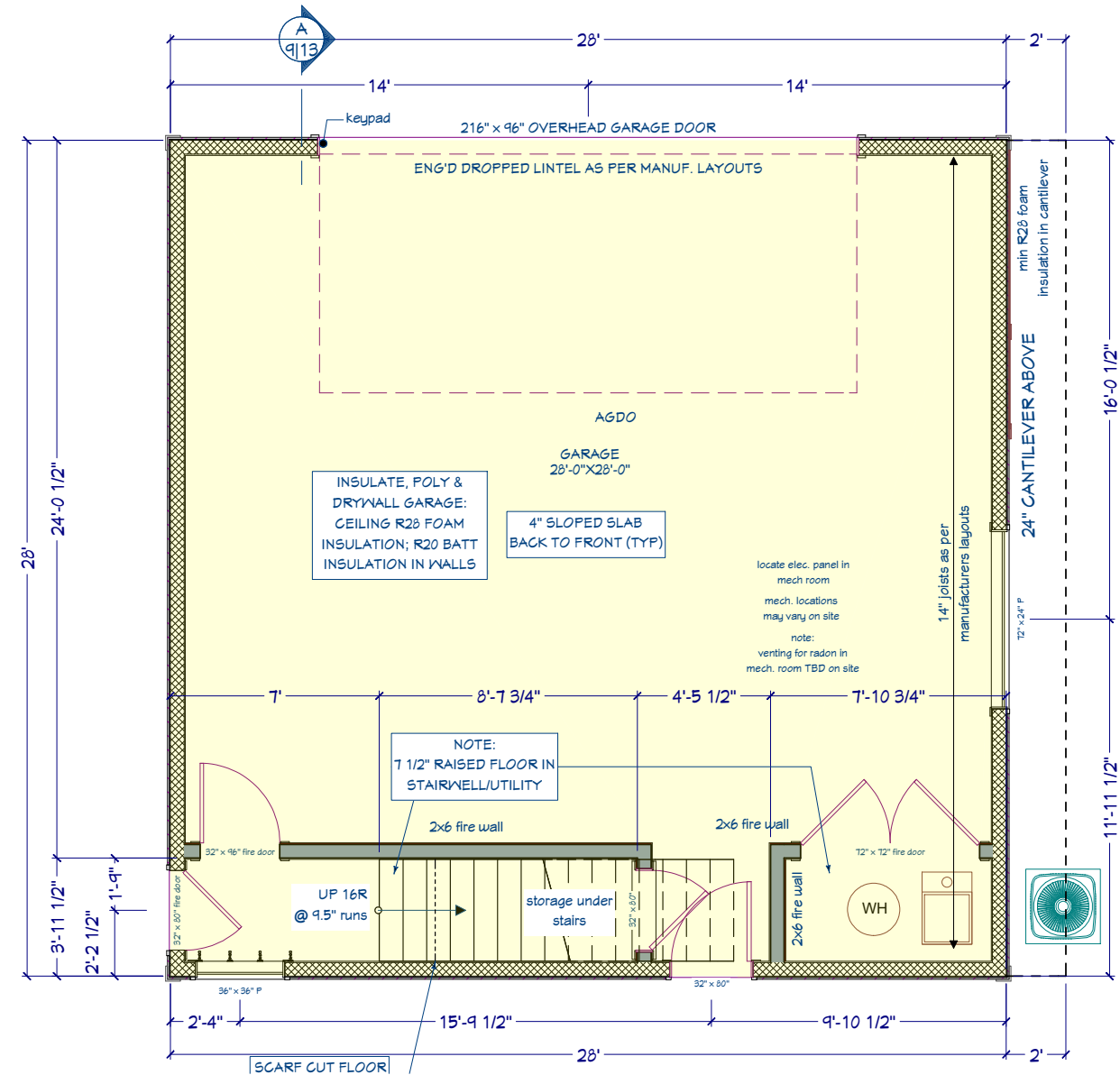
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







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DESIGN FOR	SCALE:	TBD
PROJECT NUMBER:	DRAWN BY:	Z. RATHGEBER
	DATE:	10/14/2021
	FILE NAME:	Version 3
	VIEW:	PROPOSED UPPER FLOOR
		XXX RESIDENCE
		5 WEST GLEN CRESCENT SW



ELECTRICAL - DATA - AUDIO LEGEND	
SYMBOL	DESCRIPTION
	Ceiling Fan
	Ventilation Fans: Ceiling Mounted, Wall Mounted
	Ceiling Mounted Light Fixtures: Surface/Pendant, Recessed, Heat Lamp, Low Voltage
	Wall Mounted Light Fixtures: Flush Mounted, Wall Sconce
	Chandelier Light Fixture
	Fluorescent Light Fixture
	240V Receptacle
	110V Receptacles: Duplex, Weather Proof, GFCI
	Switches: Single Pole, Weather Proof, 3-Way, 4-Way
	Switches: Dimmer, Timer
	Audio Video: Control Panel, Switch
	Speakers: Ceiling Mounted, Wall Mounted
	Wall Jacks: CAT5, CAT5 + TV, TV/Cable
	Telephone Jack
	Intercom
	Thermostat
	Door Chime, Door Bell Button
	Smoke Detectors: Ceiling Mounted, Wall Mounted
	Electrical Breaker Panel

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## ALL DIMENSIONS ARE MEASURED FROM FRAMING TO FRAMING

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PROJECT NUMBER:	-----	DESIGN FOR:	XXX RESIDENCE	SCALE:	TBD	
			5 WEST GLEN CRESCENT SW	FILE NAME:	Version 3	
			DATE:	10/14/2021	VIEW:	PROPOSED MAIN

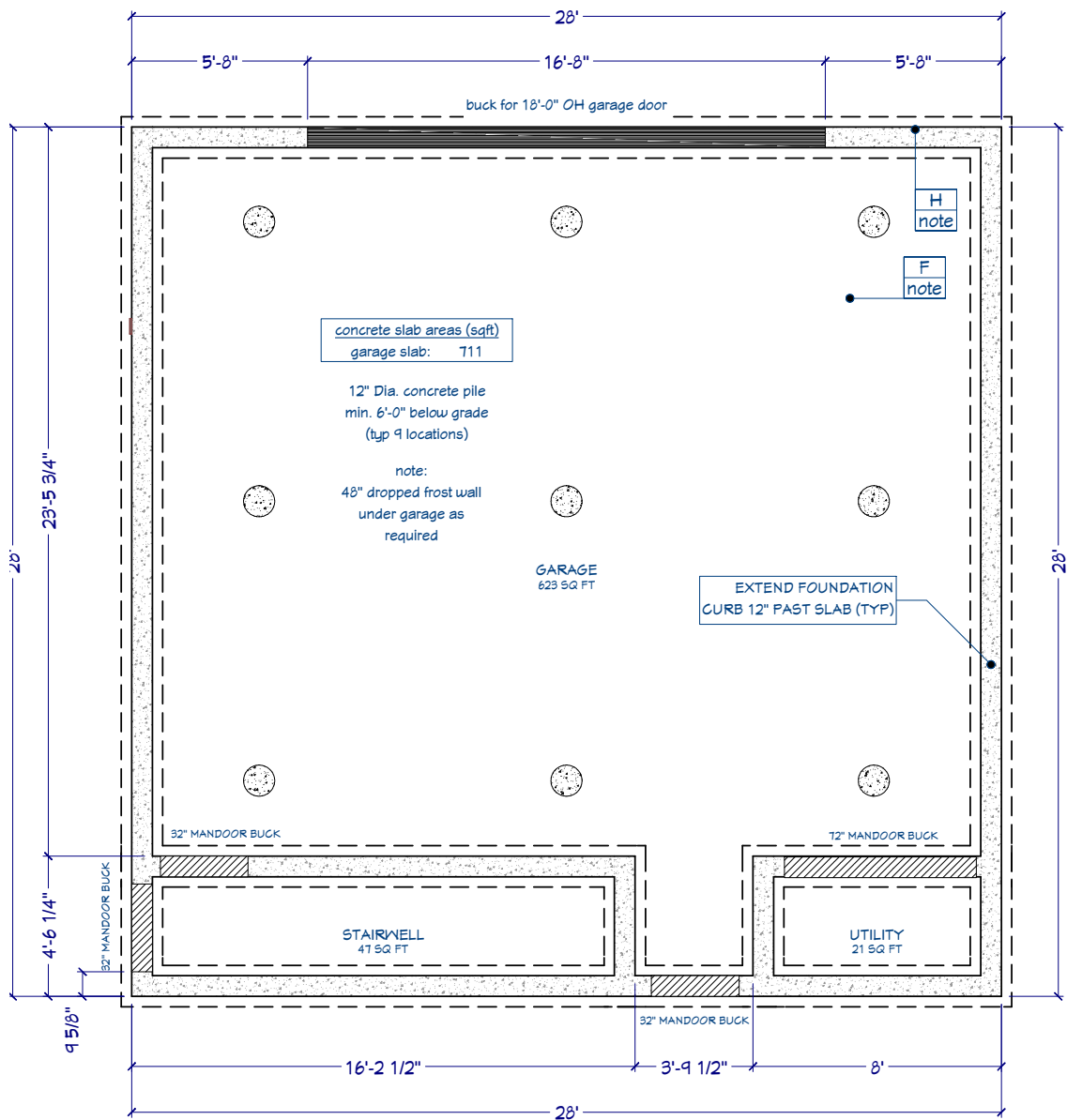
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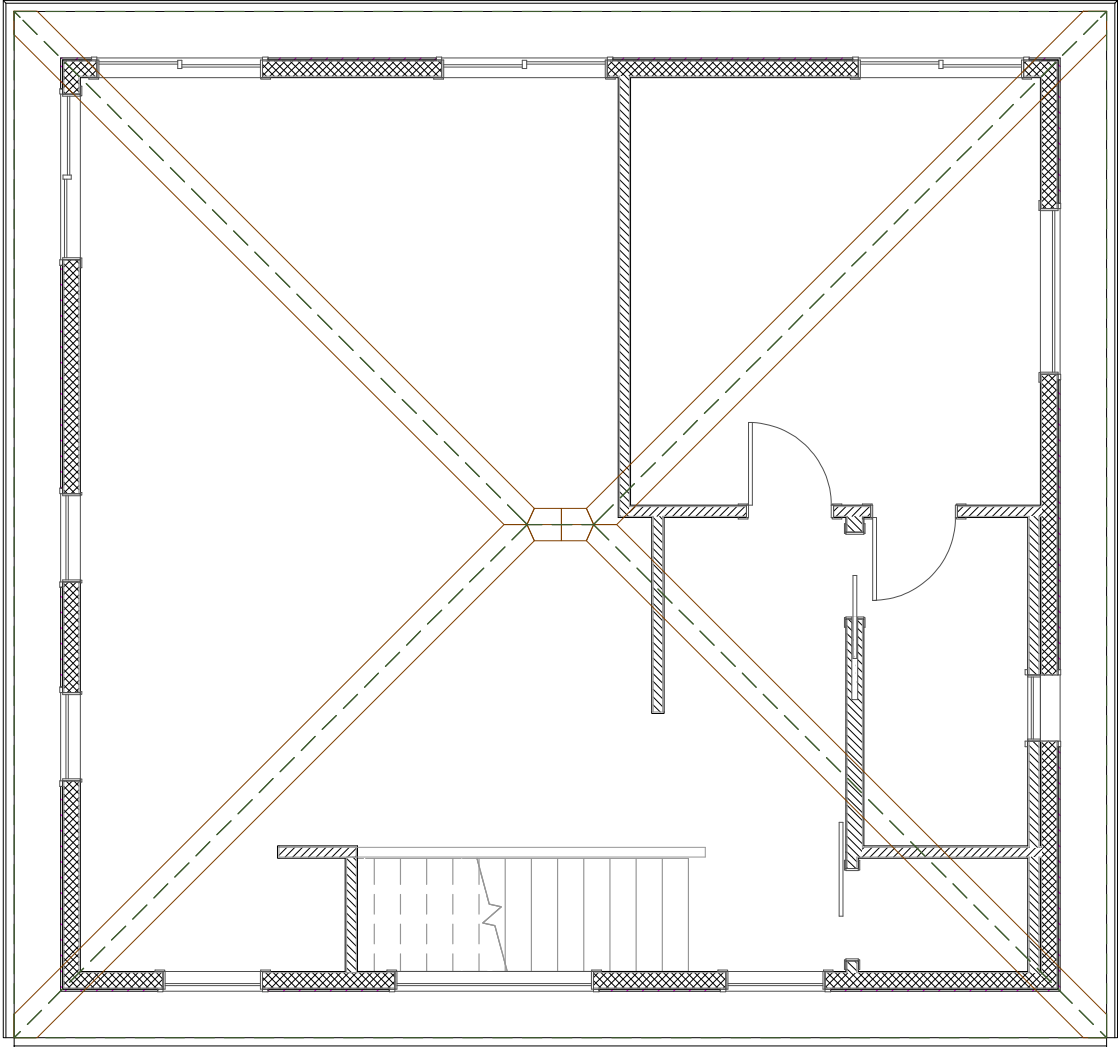
SHEET

3

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FOUNDATION PLAN  
3/16" = 1'-0"



ROOF PLAN  
3/16" = 1'-0"

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DRAWN BY:  
Z. RATHGEBER  
SCALE:  
3/16"=1'-0"  
DATE:  
10/14/2021  
FILE NAME:  
Version 3  
VIEW:  
PROPOSED FOUNDATION/ROOF PLAN

DESIGN FOR  
**XXX RESIDENCE**  
**5 WEST GLEN CRESCENT SW**

PROJECT  
NUMBER:  
---



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SHEET  
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DESIGN FOR	SCALE: 3/16" = 1'-0"	DRAWN BY: Z. RATHGEBER	DATE: 10/14/2021	FILE NAME: Version 3	VIEW: FRONT/REAR ELEVATIONS
PROJECT NUMBER:	XXX RESIDENCE				
	5 WEST GLEN CRESCENT SW				



NOTE:  
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PROJECT  
NUMBER:

----

DESIGN FOR:

XXX RESIDENCE

SCALE:  
3/16"=1'-0"

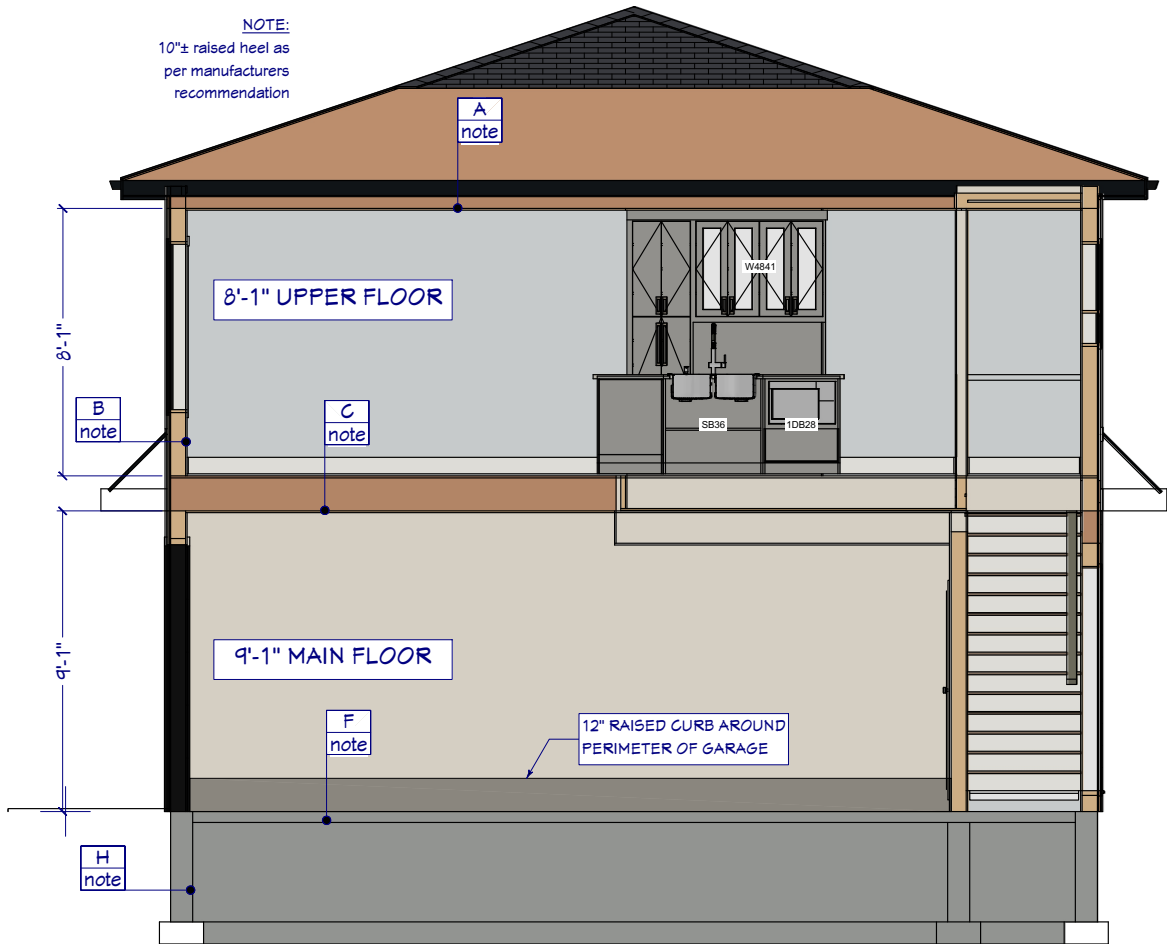
DRAWN BY:  
Z. RATHGEBER

DATE:  
10/14/2021

FILE NAME:  
Version 3

VIEW:  
RIGHT/LEFT ELEVATIONS

5 WEST GLEN CRESCENT SW



GENERAL NOTES:

- Attic Access to be Weatherstripped & sprayfoam Insulated
- Attic Ventilation to conform to ABC 9.19.1.1
- All stair handrails & guards to conform to ABC 9.8.7 @ 9.8.8
- All construction details & procedures to conform to current ABC
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- Final site grades may alter exterior appearance
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- Unfactored loads on teleposts
- Caulking provisions as required by current ABC

FRAMING NOTES:

- Load and Non Load Bearing Interior Walls to be @ 16" O.C.
- All Exterior Walls to be 2x6 @ 24" O.C.
- 3/4" spacing req'd between stringer and all walls on stairs
- Floors to be glued & screwed
- All exterior lintels to be 2-2x10 #2 SFR or better, unless noted
- Wood deck to have railings as req'd by ABC Current Edition if Applicable
- Refer to construction notes for additional information
- A gap of not less than 2mm shall be left between sheets of plywood, OSB, waferboard or fiberboard

(B note) EXTERIOR WALL CONSTRUCTION:

- Exterior Finish
- Building Paper
- 3/8" OSB Sheathing
- 2x6 Studs @ 24" O.C.
- R20 Insulation
- Vapour Barrier
- 1/2" Drywall Finish

(C note) FLOOR CONSTRUCTION:

- Finished as specified
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- 14" Engineered Joists (refer to manufacturers layouts for spacing)
- 9 1/2" Engineered Joists for deck (refer to manufacturers layouts for spacing)

CRIBBING NOTES:

- Step Conc. Wall as grades and elevation allow
- Add 1x4 nailers @ 24" O.C. (siding/wire support) as req'd
- Maximum 18" Parging
- Refer to Engineering for additional information

(A note) ROOF CONSTRUCTION:

- Roofing Material
- 3/8" ASB clw 'H' Clips
- Approved Wood Trusses @ 24" O.C. (refer to Manufacturer Layout)
- R55 Insulation
- Vapour Barrier (6 Mil)
- 1/2" Drywall Ceiling

(F note) GARAGE FLOOR CONSTRUCTION:

- 4" Concrete Slab
- 8" Compacted Gravel
- Slope slab 4"

(H note) FROST WALL CONSTRUCTION:

- 8" Concrete Wall
- 16"x6" Conc. Footing under Garage
- 24"x8" Conc. Footing under House
- Min. 4'-0" below Grade as per Engineer

DISCLAIMER:  
DRAWINGS ARE DRAWN TO SCALE AS INDICATED AND SCALING MAY VARY SLIGHTLY DO TO REPRODUCTION. CONTRACTORS TO VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCING WORK. ANY DISCREPANCIES ARE TO BE REPORTED IMMEDIATELY TO DESIGN CONSULTANT & BUILDER, AND PRIOR TO CONSTRUCTION.  
WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.

DO NOT SCALE OFF DRAWINGS

NOTE:  
FURNITURE AND FURNITURE PLACEMENT FOR PRESENTATION PURPOSE ONLY

NOTE:  
3D DRAWINGS ARE FOR VISUAL AID ONLY; EXACT CONSTRUCTION & DESIGN WILL BE DETERMINED BY THE EXISTING CONDITIONS ON SITE

SHEET 7 14

LIVARA DESIGN Collaborative Design with Expert Results

THESE DRAWINGS ARE THE PROPRIETARY WORK PRODUCT AND PROPERTY OF LIVARA DESIGN INC., DEVELOPED FOR THE EXCLUSIVE USE OF LIVARA DESIGN INC. USE OF THESE DRAWINGS AND CONCEPTS CONTAINED THEREIN WITHOUT THE WRITTEN PERMISSION OF LIVARA DESIGN INC. IS STRICTLY PROHIBITED.

DESIGN FOR	SCALE: 3/16"=1'-0"
PROJECT NUMBER: ---	FILE NAME: Version 3
XXX RESIDENCE	DATE: 10/14/2021
5 WEST GLEN CRESCENT SW	VIEW: SECTION



ENMAX Power Corporation  
 141 – 50 Avenue SE  
 Calgary, AB T2G 4S7  
 Tel (403) 514-3000  
 enmax.com

November 1, 2021

**File No: DP2021-1960**

**Location: 5 West Glen Cr SW**

ENMAX Power Corporation (EPC) has reviewed the above permit application dated November 1 and based on the information provided and as of the above noted date the proposed development does not conflict with ENMAX facilities in respect of the requirements set forth in 10-002 Overhead System (Table 7) and 12-002 Underground Systems of the Alberta Electrical Utility Code (AEUC) under the *Safety Codes Act* (Alberta). This non-conflict letter does not reduce or limit responsibility to comply with all laws and regulations regarding utility facilities and all requirements under the *Occupational Health & Safety Act* (Alberta) (OHS) and the applicant shall observe all such laws and regulations when commencing any work related to the permit application. If a situation arises where there is a discrepancy between ENMAX required setbacks and the AEUC or the OHS, the stricter set of requirements shall govern.

Pursuant to Section 225(1) of Part 17 of the *Occupational Health and Safety Code* (Alberta) (Code) anyone working near overhead powerlines must maintain safe limits of approach as provided for in Schedule 4, Table 1 of the Code or Table 1 in the AEUC and anyone excavating must contact Alberta One-Call prior to performance of such excavation. As a condition of this no-conflict letter, and despite any existence of a permit, the applicant must contact EPC (Powerline Inspections (403) 514-3117) prior to the commencement of any construction where any workers or equipment will be within 7.0m of existing overhead EPC facilities. If EPC is contacted in accordance with the above, no construction work shall be commenced thereafter unless and until EPC determines the minimum safe limit of approach distance in relation to the overhead facilities present at the project site.

**\*\*NOTE:** This letter provided by ENMAX Power Corporation is intended for information purposes only and is not in any manner intended to nor shall be construed to derogate from applicant's obligations to follow any applicable law. The provision of this no-conflict letter is not a representation that work will meet any legislative or regulatory obligations. This no-conflict letter is provided as of the date first noted above – the applicant is still required to perform their own due diligence prior to any development activities and resolve any conflicts (new or existing) at the Developer's sole expense. ENMAX expressly disclaims any liability related to applicant's responsibility to comply with such laws and regulations and ENMAX's required setbacks.

If you require any additional information regarding this Development Permit, please contact the Project Administrator at [EPC\\_Permits@enmax.com](mailto:EPC_Permits@enmax.com).

Sincerely,

Younglae Kim, P.Eng  
 Permits and Circulations

**McLean, Lauren E.**

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**From:** Dawna Nelson <gdaknelson@gmail.com>  
**Sent:** Monday, November 1, 2021 1:38 PM  
**To:** Calgary SDAB Info  
**Subject:** [EXT] Guy wire/anchor move SDAB2021-0052  
**Attachments:** Telus Cable Repair - 5 West Glen Crescent SW Anchor Relocate - June 4, 21.pdf

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

The following is correspondence with Telus regarding the moving of the guy wire at 5 West Glen Crescent SW for proposed new location of backyard suite.

Dawna Nelson

Sent from my iPhone

Begin forwarded message:

**From:** Dawna Nelson <gdaknelson@gmail.com>  
**Date:** October 27, 2021 at 4:06:09 PM MDT  
**To:** Maurie Loewen <maurie.loewen@calgary.ca>  
**Subject:** Fwd: Guy wire/anchor move quote

Sent from my iPhone

Begin forwarded message:

**From:** Kevin Jarvis <Kevin.Jarvis@telus.com>  
**Date:** October 27, 2021 at 11:44:51 AM MDT  
**To:** gdaknelson@gmail.com  
**Subject:** FW: Guy wire/anchor move quote

Hello,

As discussed here a copy of the email with the quote again, which should be enough to show that TELUS authorizes this to be done. We subcontract line work out, so this would go through TELUS contracted out to Lineman to do the onsite line work. Which is why the quote is from Lineman, not directly from TELUS, but the billing would be through TELUS. Hope that helps.

Have a good day

**Kevin Jarvis**  
**Access Technician**  
**TELUS - Calgary North**  
**587-226-9738**



---

**From:** Kevin Jarvis  
**Sent:** October 6, 2021 11:50 AM  
**To:** 'gdaknelson@gmail.com' <gdaknelson@gmail.com>  
**Subject:** FW: Guy wire/anchor move quote

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**From:** [anne@linemanltd.com](mailto:anne@linemanltd.com) <[anne@linemanltd.com](mailto:anne@linemanltd.com)>  
**Sent:** June 4, 2021 11:06 AM  
**To:** Kevin Jarvis <[Kevin.Jarvis@telus.com](mailto:Kevin.Jarvis@telus.com)>  
**Cc:** Chris Williams <[Chris.Williams2@telus.com](mailto:Chris.Williams2@telus.com)>  
**Subject:** RE: Guy wire/anchor move

**ATTENTION:** This email originated from outside of TELUS. Use caution when clicking links or opening attachments. | Ce courriel provient de l'extérieur de TELUS. Soyez prudent lorsque vous cliquez sur des liens ou ouvrez des pièces jointes.

Hi Kevin,

Thanks for explaining the SOW to Rob this morning. Attached is our quote for this work, please let me know if you have any questions.

Thanks.. Anne

*Anne Markin*  
Lineman Communications Ltd.  
(403) 888-2235



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**From:** Kevin Jarvis <[Kevin.Jarvis@telus.com](mailto:Kevin.Jarvis@telus.com)>  
**Sent:** June 3, 2021 12:40 PM  
**To:** [Anne@linemanltd.com](mailto:Anne@linemanltd.com)  
**Subject:** Guy wire/anchor move

Hey Anne,  
That job we spoke about is at: 5 West Glen Crescent SW, Calgary, AB, T3CX5

The poll is in the alleyway on the east side of the house. Would need the messenger extended to the west 1 pole, about 30m, and anchored there.

Thanks!

**Kevin Jarvis**  
**Access Technician**  
**TELUS - Calgary North**  
**587-226-9738**

244228 84 Street NE  
Rocky View County, AB  
T1Z 0K4

Telephone: (403) 285-7893  
Fax: (403) 293-5901  
Email: [mwilson@linemanltd.com](mailto:mwilson@linemanltd.com)  
[anne@linemanltd.com](mailto:anne@linemanltd.com)  
[mcarron@linemanltd.com](mailto:mcarron@linemanltd.com)

## Quote

Quote #040621-01  
June 4, 21

**To:** Telus Cable Repair

**Attention:** Kevin Jarvis

**Job Description:** 5 West Glen Crescent SW – Anchor relocate

<p><i>SOW: Place strand 30m to next pole West, deadend and place new anchor. Remove existing anchor to enable garage access. Design required – 902, ULA and PLA</i></p>	
<i>Design costs</i>	<i>\$3000.00</i>
<i>Labour – bucket truck crew 8 hrs x \$195.00</i>	<i>\$1560.00</i>
<i>Hydrovac – 3 hrs x \$245.00</i>	<i>\$735.00</i>
<i>Dump Fee</i>	<i>\$100.00</i>
<i>Supply gravel and backfill</i>	<i>\$380.00</i>
<i>Survey – pre/post</i>	<i>\$800.00</i>
<p><i>*PLA/ULA fees will be handled directly from the City and Enmax to Telus internal*</i></p>	
<b>TOTAL COST</b>	<b>\$6575.00+GST</b>